

# PRELIMINARY PLAT

# THE VILLAGE AT COLOGNE, 18TH ADDITION

## COLOGNE, MN



**ANDERSON**

13605 1st Avenue N. #100  
 Plymouth, MN 55441 | [ae-mn.com](http://ae-mn.com)  
 P 763.412.4000 | F 763.412.4090  
 Anderson Engineering of Minnesota, LLC

**THE VILLAGE AT  
 COLOGNE  
 18TH ADDITION**

COLOGNE, MN 55322

RON OLSON

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: LEE KOPPY, PE

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 7/3/2025 LICENSE NO. 41267

**REVISION LOG**

NO.	DESCRIPTION OF REVISIONS

**PRELIMINARY PLAT**

7/3/2025

DESIGNED:	DRAWN:	CHECKED BY:
LRK	CDN	LRK

**DRAWING TITLE**

**COVER SHEET**

**DRAWING NO.**

**G0**

PLOTTED:	COMM. NO.
JULY 3, 2025	18344

LOCATION MAP N.T.S.



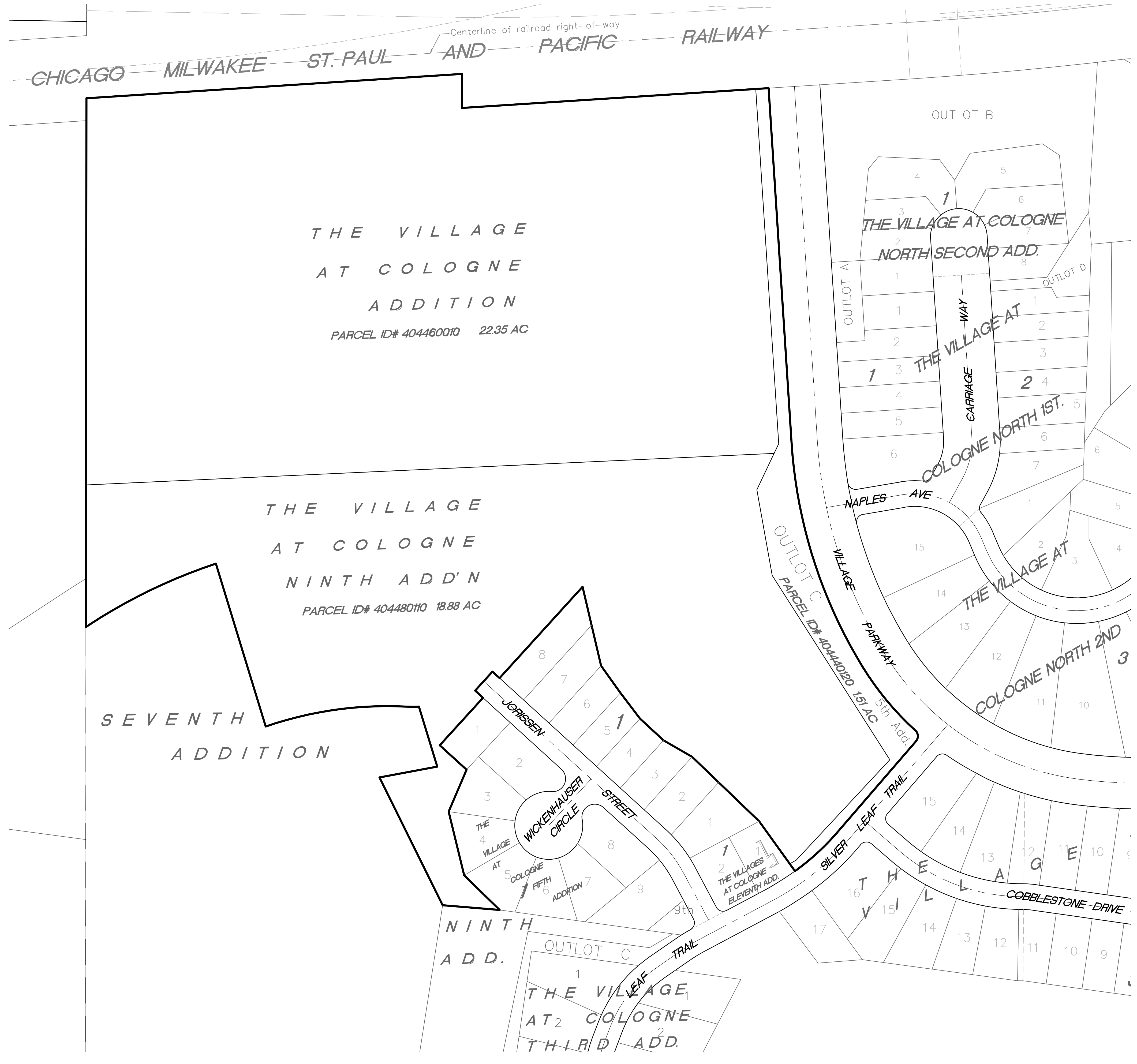
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**CALL 48 HOURS BEFORE DIGGING**  
 Utilities Underground Location Center  
 DIAL 811  
  
 Know what's below,  
 Call before you dig.

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**LEGEND**  
 ——— PROPOSED PLAT BOUNDARY  
 ——— EXISTING PARCEL BOUNDARY

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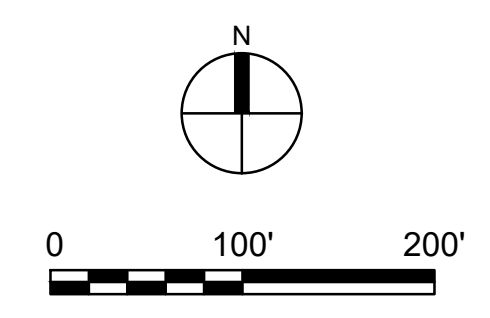
**DRAWING TITLE**

**EXISTING PARCEL MAP**

**DRAWING NO.**

**E1**

PLOTTED:	COMM. NO.
JULY 3, 2025	18344





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# THE VILLAGE AT COLOGNE 18TH ADDITION

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LEGEND	
	PROPERTY LIMITS
	SAWCUT EXISTING BITUMINOUS PAVEMENT
	EXISTING WATERMAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING FENCE
	EXISTING GAS MAIN
	EXISTING OVERHEAD WIRES
	EXISTING TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	MINOR CONTOUR
	MAJOR CONTOUR
	EXISTING HYDRANT AND GV
	EXISTING SANITARY MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STREET SIGN
	REMOVE EXISTING ASPHALT PAVEMENT
	REMOVE EXISTING CONCRETE C&G
	REMOVE TREES

## EXISTING CONDITIONS AND DEMOLITION NOTES

- EXISTING TOPOGRAPHIC AND UTILITY INFORMATION PREPARED BY ANDERSON ENGINEERING. BE ADVISED THAT THE LOCATION AND TYPE OF EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE INFORMATION IS NOT WARRANTED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR, IN COOPERATION WITH THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY, IS RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE AND DEPTH OF ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL SALVAGE AND REINSTALL STREET AND TRAFFIC SIGNS IN CONFLICT WITH CONSTRUCTION ACTIVITIES AS INDICATED OR DIRECTED BY THE ENGINEER. ANY DAMAGE TO SIGNS DURING CONSTRUCTION REQUIRES THE CONTRACTOR TO PROVIDE NEW SIGNS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS TO SAWCUT FULL DEPTH AT PAVEMENT REMOVAL LIMITS AND IS REQUIRED TO ENSURE A SMOOTH FIT/TRANSITION ALONG MATCHING PAVEMENT AREAS.
- UNLESS OTHERWISE STATED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DEMOLITION WITHIN ALL AREAS OF PROPOSED IMPROVEMENTS. REMOVAL LIMITS ARE INDICATED ON THE DRAWINGS IN ANTICIPATED LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR REMOVALS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS AND MEET DESIGN REQUIREMENTS. ALL FACILITIES TO BE REMOVED MUST BE UNDERCUT TO SUITABLE FILL MATERIAL AND BROUGHT TO GRADE WITH SUITABLE FILL MATERIAL. AS PER THE SPECIFICATIONS AND ENGINEERS DIRECTIVES.
- THE CONTRACTOR MUST REVIEW FEATURES NOT SPECIFICALLY IDENTIFIED ON THE PLAN TO DETERMINE SLAVAGE OR REMOVAL THAT MAY CONFLICT WITH CONSTRUCTION, IN COORDINATION WITH THE ENGINEER/OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN PERMITS NECESSARY FOR DEMOLITION, REMOVAL, AND DISPOSAL. MATERIALS REMOVED OR DEMOLISHED BY THE CONTRACTOR BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE STATED. THE CONTRACTOR IS RESPONSIBLE FOR LOADING, HAULING AND PROPERTY DISPOSING OF MATERIALS IN COMPLIANCE WITH APPLICABLE REGULATIONS. THE SITE MUST BE LEFT IN A CONDITION SATISFACTORY TO THE OWNER AND ENGINEER.

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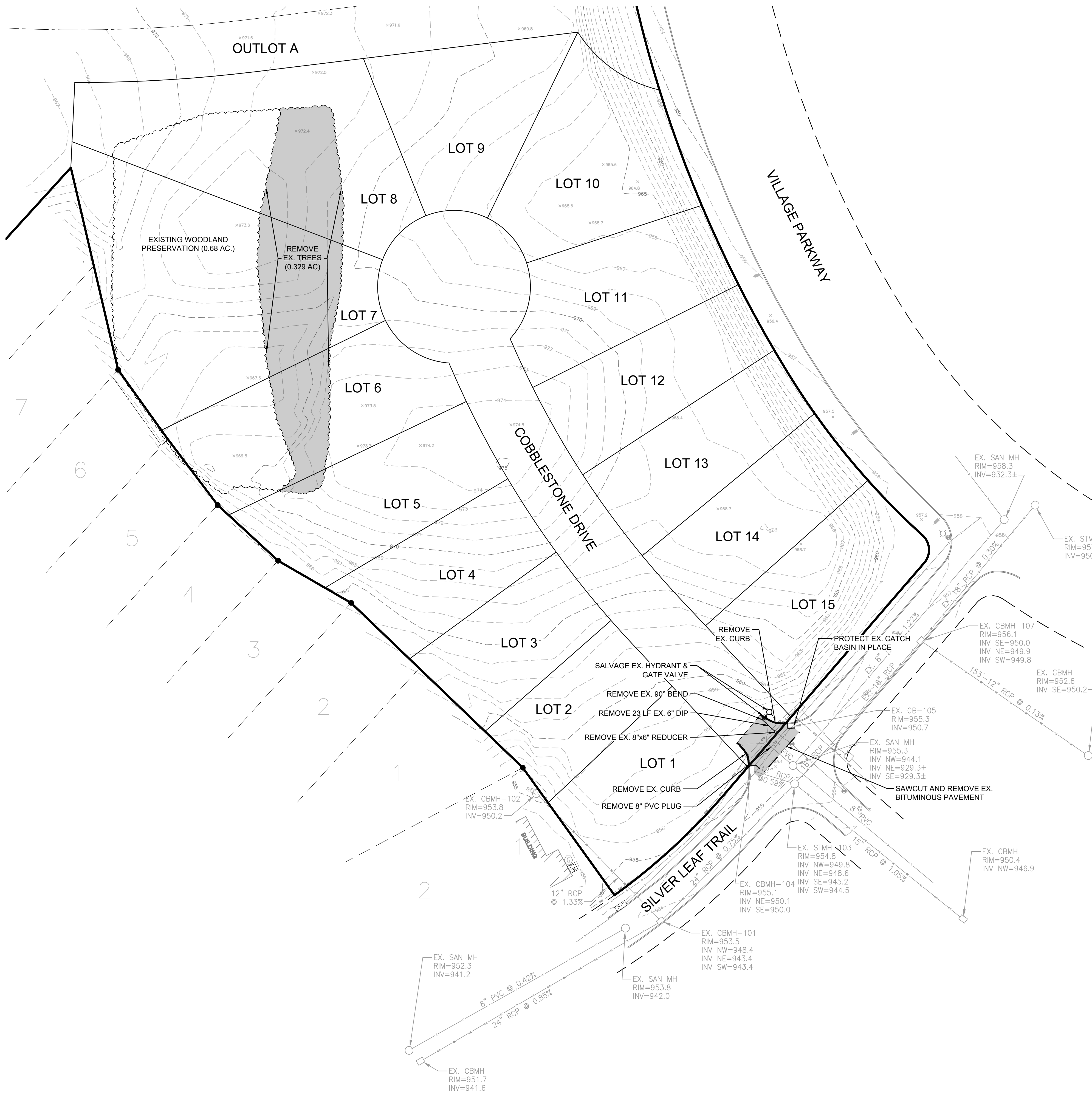
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# EXISTING CONDITIONS AND DEMOLITION PLAN

DRAWING NO.

# D1

PLOTTED:	COMM. NO.
JULY 3, 2025	18344



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7/3/2025

DESIGNED: LRK	DRAWN: CDN	CHECKED BY: LRK
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### DRAWING TITLE

# OVERALL PRELIMINARY PLAT

DRAWING NO.

# C1

PLOTTED: JULY 3, 2025	COMM. NO. 18344
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### LEGEND

- PLAT BOUNDARY
- PROPOSED LOT LINE
- EXISTING LOT LINE
- CONSERVATION EASEMENT



Jul 01, 2025 - 12:02pm clicity Y:\18300\18344 ron olson - residential - cologne mn\07 civil\01 cad files\01 SHEETS\18344\_C\_PRIMINARY\_PLAT.dwg Xref Filename: \\18344\_s\_base\SectionReference\18344\_c\_base\_save-trees\18344\_22x34\_TitleBlock

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SEE SHEET C1 FOR FULL PLAT BOUNDARY CONTINUATION TO NORTH AND WEST

OUTLOT A  
1,442,554 SQ FT

CONSERVATION EASEMENT

WICKENHAUSER CIRCLE

JORRISEN STREET

COBBLESTONE DRIVE

SILVER LEAF TRAIL

VILLAGE PARKWAY

COBBLESTONE DRIVE

**LEGEND**

- PLAT BOUNDARY
- PROPOSED LOT LINE
- BUILDING SETBACK
- DRAINAGE & UTILITY EASEMENT
- CONSERVATION EASEMENT



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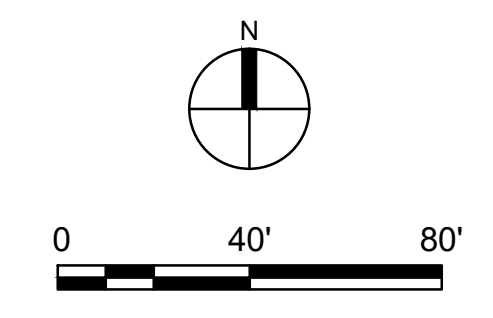
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7/3/2025

DESIGNED: LRK	DRAWN: CDN	CHECKED BY: LRK
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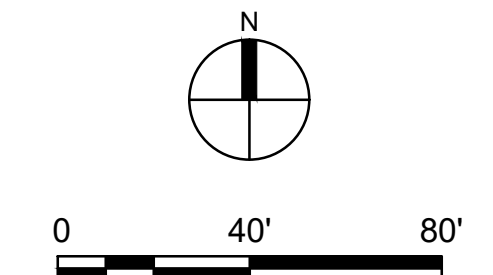
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**PRELIMINARY PLAT**

DRAWING NO.  
  
**C2**

PLOTTED: JULY 3, 2025	COMM. NO. 18344
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OUTLOT A



**LEGEND**

	PROPERTY LIMITS
	ADJACENT PROPERTY
	BUILDING SETBACKS
	DRAINAGE AND UTILITY EASEMENT
	CONSERVATION EASEMENT
	PROPOSED CONCRETE C&G
	PROPOSED BITUMINOUS PAVEMENT

**IMPERVIOUS AREA**

PAVEMENT & CURBS	19,077 SF
DRIVEWAYS	10,648 SF
HOMES	31,905 SF (15 x 2,127 SF)
<b>TOTAL</b>	<b>61,630 SF</b>



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DRAWING TITLE

**SITE PLAN**

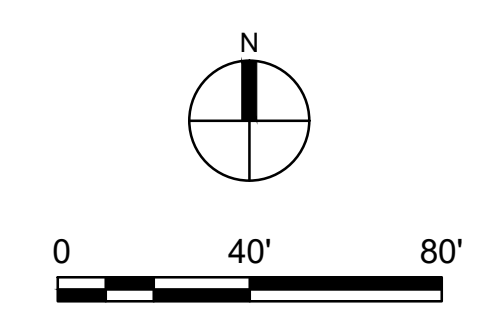
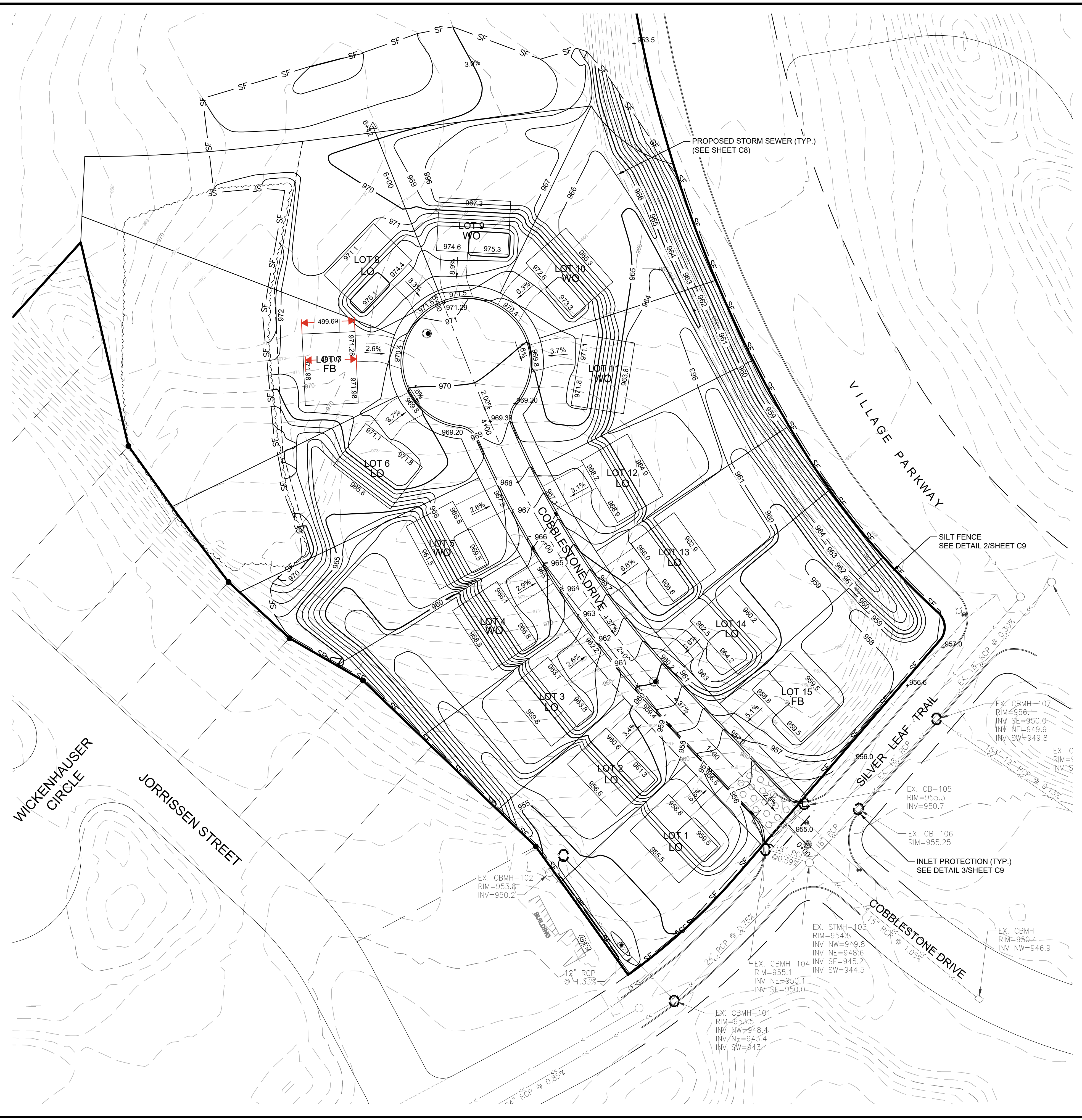
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**C3**

PLOTTED: JULY 3, 2025	COMM. NO. 18344
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Jul 01, 2025 - 12:02pm clicity Y:\18300\18344 ron olson - residential - cologne mn\07 civil\01 cad files\01 SHEETS\18344\_C\_GRAD.dwg Xref Filename: \\18344\_s\_base\SectionReference\18344\_c\_base\_save-trees\18344\_22x34\_TitleBlock



**LEGEND**

	PROPERTY LIMITS
	CONSTRUCTION LIMITS
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED STORM SEWER
	PROPOSED DRAINTILE
	EXISTING SPOT ELEVATION
	SOIL BORING LOCATION
	DRAINAGE ARROW
	PROPOSED RETAINING WALL
	PROPOSED CONCRETE C&G
	TIP OUT CURB
	SILT FENCE
	INLET SEDIMENT PROTECTION
	ROCK CONSTRUCTION ENTRANCE
	SPOT ELEVATION

× 800.1

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DRAWING TITLE

**GRADING &  
 EROSION  
 CONTROL PLAN**

DRAWING NO.

**C4**

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# STORM WATER POLLUTION PREVENTION PLAN NARRATIVE - PAGE 1 OF 2

## PROJECT DESCRIPTION/LOCATION

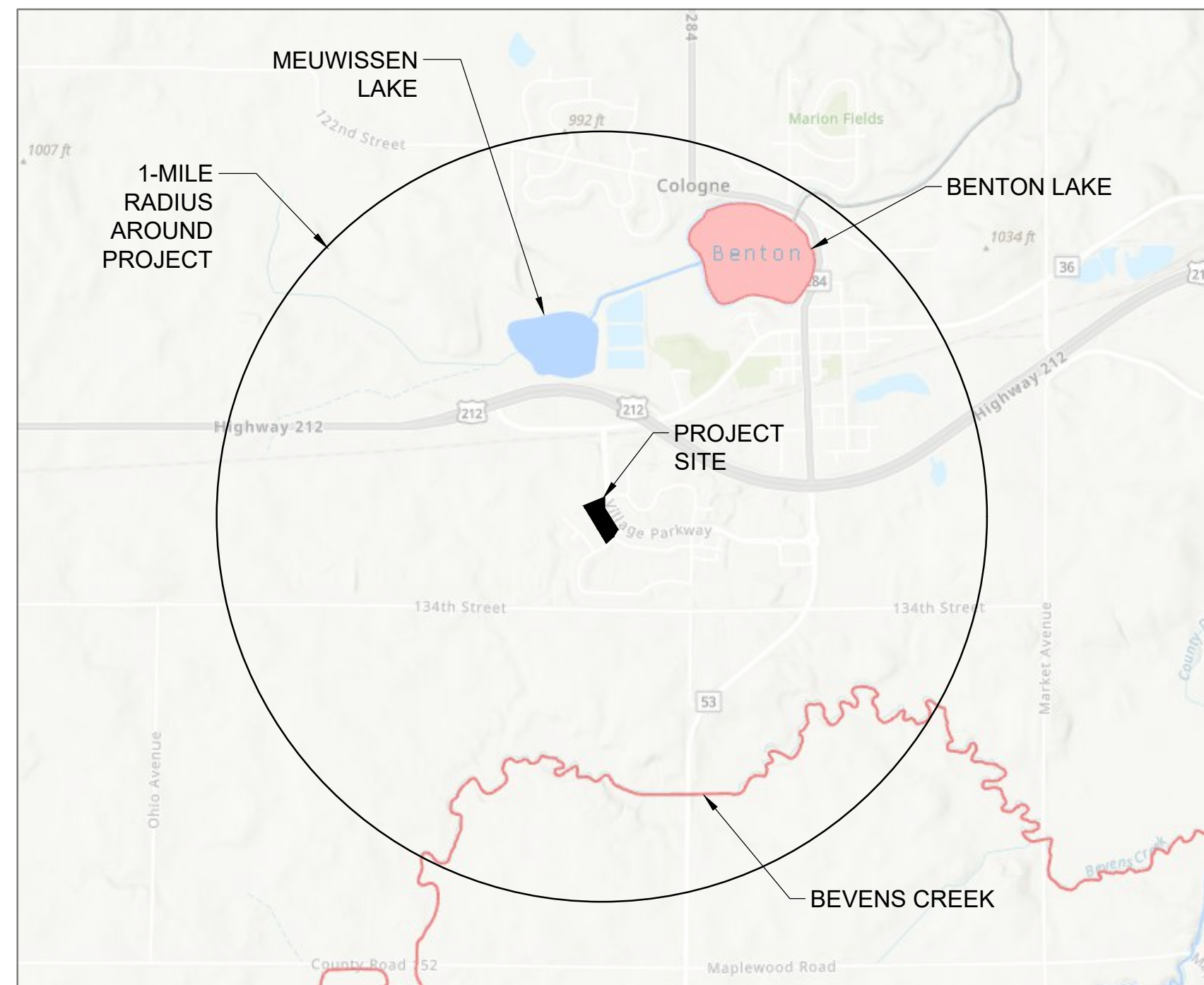
THE VILLAGES IS LOCATED IN THE CITY OF COLOGNE IN CARVER COUNTY BOUNDED ON THE EAST BY VILLAGE PARKWAY AND ON THE SOUTH BY SILVER LEAF TRAIL. THE PROPERTY EXTENDS ON THE WEST TO THE BACK OF RESIDENTIAL LOTS ALONG JORISSEN STREET AND EXTENDS ON THE NORTH TO OUTLOT B - A FUTURE ROAD ALIGNMENT. LOCATED IN CARVER COUNTY WATER MANAGEMENT ORGANIZATION JURISDICTION. THE PROPOSED SITE ENCOMPASSES 4.91 ACRES.

THE PLANNED SCOPE OF THE PROJECT INCLUDES:

- THE INSTALLATION OF EROSION CONTROL MEASURES AS REQUIRED FOR THE MASS GRADING OF THE SITE FOR THE CONSTRUCTION OF 16 RESIDENTIAL LOTS.
- GRADING AS REQUIRED FOR THE INSTALLATION OF THE STRUCTURES, BUILDINGS AND ROADS.
- THE CONSTRUCTION OF A STORMWATER POND
- INSTALLATION OF SANITARY SEWER, WATERMAIN, AND STORM SEWER.
- PLACEMENT OF CONCRETE AS REQUIRED TO ESTABLISH CURB, GUTTER, AND SIDEWALKS THROUGHOUT THE SITE.
- CONSTRUCTION OF RESIDENTIAL BUILDINGS.

## RECEIVING WATERS

THESE WATERS ARE LOCATED WITHIN ONE MILE (AERIAL RADIUS) OF THE PROJECT LIMITS AND RECEIVE RUNOFF FROM THE PROJECT SITE. DUE TO THE PROXIMITY OF THE RECEIVING WATERS, THE BMPS DESCRIBED IN APPENDIX A OF THE NPDES PERMIT MAY APPLY TO ALL AREAS OF THE SITE.



WATERS WITHIN 1 MILE RADIUS					
NAME OF WATER BODY	TYPE (LAKE, RIVER, WETLAND, DITCH, ETC)	APPENDIX A SPECIAL WATER (YES OR NO)	IMPAIRED WATER WITHIN 1 MILE OF PROJECT SITE (YES OR NO)	APPROVED TMDL	RECEIVING WATERS (YES OR NO)
BENTON LAKE	LAKE	NO	YES	NA	NO
BEVENS CREEK	RIVER	NO	YES	NA	NO
MEUWISSEN LAKE	LAKE	NO	NO	NA	NO

## SOIL TYPES

SOIL TYPES TYPICALLY FOUND ON THIS PROJECT RANGE FROM LOAM TO CLAY LOAM AND HYDROLOGIC GROUP C TO D. PER WEB SOIL SURVEY IS TO BE KEPT ON SITE AS PART OF THE SWPPP AND IS TO BE MADE AVAILABLE UPON REQUEST.

## LONG TERM MAINTENANCE AND OPERATION

RON OLSON CONSTRUCTION HAS ENTERED INTO A MAINTENANCE AGREEMENT WITH THE CITY OF COLOGNE THAT IDENTIFIES THE AGENCY THAT IS RESPONSIBLE FOR ONGOING MAINTENANCE, AND HOW RESPONSIBILITY WILL BE TRANSFERRED TO OTHER AGENTS.

## PROJECT PERSONNEL AND TRAINING

THIS SWPPP WAS PREPARED BY PERSONNEL THAT ARE CERTIFIED IN THE DESIGN OF CONSTRUCTION SWPPP. COPIES OF THE CERTIFICATIONS ARE ON FILE WITH THE ENGINEER.

PROVIDE A CERTIFIED EROSION CONTROL SUPERVISOR IN GOOD STANDING WHO IS KNOWLEDGEABLE

AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES. THE EROSION CONTROL SUPERVISOR WILL WORK WITH THE PROJECT ENGINEER / SWPPP DESIGNER TO OVERSEE THE IMPLEMENTATION OF THE SWPPP AND THE INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS BEFORE, DURING, AND AFTER CONSTRUCTION UNTIL THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA. PROVIDE PROOF OF CERTIFICATION AT THE PRECONSTRUCTION MEETING. WORK WILL NOT BE ALLOWED TO COMMENCE UNTIL PROOF OF CERTIFICATION HAS BEEN PROVIDED TO THE PROJECT ENGINEER.

PROVIDE AT LEAST ONE CERTIFIED INSTALLER FOR EACH CONTRACTOR OR SUBCONTRACTOR THAT INSTALLS THE PRODUCTS. CERTIFIED INSTALLERS. PROVIDE PROOF OF CERTIFICATION AT THE PRECONSTRUCTION MEETING. WORK WILL NOT BE ALLOWED TO COMMENCE UNTIL PROOF OF CERTIFICATION HAS BEEN PROVIDED TO THE PROJECT ENGINEER.

## CHAIN OF RESPONSIBILITY

THE OWNER AND CONTRACTOR ARE CO-PERMITTEES FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION PERMIT. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL ASPECTS OF THE NPDES CONSTRUCTION PERMIT AT ALL TIMES UNTIL THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED WITH THE MPCA THE CONTRACTOR WILL DEVELOP A CHAIN OF COMMAND WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE. THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION, AND A NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.

## PROJECT CONTACTS

THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION OF THE SWPPP AND INSTALLATION, INSPECTION, AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS BEFORE, DURING, AND AFTER CONSTRUCTION UNTIL THE NOTICE OF TERMINATION (NOT) HAS BEEN FILED.

CONTACT INFORMATION		
ORGANIZATION	CONTACT NAME	PHONE
RON OLSON CONSTRUCTION	RON OLSON	612-369-4240
ANDERSON ENGINEERING (SWPPP DESIGN)	MATTIE MILLER*	763-412-4000
[CONTRACTOR]	[CONTRACTOR NAME]	[#]

\*CERTIFIED FOR DESIGN OF CONSTRUCTION SWPPP BY UNIVERSITY OF MINNESOTA, EXPIRES 2028  
MPCA DUTY OFFICER 24 HOUR EMERGENCY NOTIFICATION:  
651-649-5451 OR 800-422-0798

## SITE INSPECTION AND MAINTENANCE

CONTRACTOR SHALL PROVIDE NAME, CONTACT INFO, AND TRAINING DOCUMENTATION FOR THE PERSON RESPONSIBLE FOR SWPPP IMPLEMENTATION AND INSPECTION/MAINTENANCE OF BMPS.

INSPECT THE ENTIRE CONSTRUCTION SITE A MINIMUM OF ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES WITHIN A 24 HOUR TIME FRAME. INSPECT ALL TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT, EROSION PREVENTION AND SEDIMENT CONTROL BMPS UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND THE N.O.T. HAS BEEN SUBMITTED. INSPECT SURFACE WATER INCLUDING DRAINAGE DITCHES FOR SIGNS OF EROSION AND SEDIMENT DEPOSITION. INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS FOR EVIDENCE OF TRACKING ONTO PAVED SURFACES. INSPECT SURROUNDING PROPERTIES FOR EVIDENCE OF OFF SITE SEDIMENT ACCUMULATION.

RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES IN WRITING WITHIN 24 HOURS. SUBMIT INSPECTION REPORTS IN A FORMAT THAT IS ACCEPTABLE TO THE PROJECT ENGINEER.

FOR PROJECTS THAT DISCHARGE TO PROHIBITED WATERS, CONDUCT ROUTINE SITE INSPECTIONS AT A MINIMUM OF ONCE EVERY 72 HOURS (3 DAYS).

INCLUDE THE FOLLOWING IN THE RECORDS OF EACH INSPECTION AND MAINTENANCE ACTIVITY:

- DATE AND TIME OF INSPECTIONS
- NAME OF PERSONS CONDUCTING INSPECTIONS
- FINDINGS OF INSPECTIONS, INCLUDING RECOMMENDATIONS FOR CORRECTIVE ACTIONS
- CORRECTIVE ACTION TAKEN, INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES
- DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCH IN 24 HOURS
- DOCUMENTS AND CHANGES MADE TO THE SWPPP

REPLACE, REPAIR OR SUPPLEMENT ALL NONFUNCTIONAL BMPS IN THE TIME PROVIDED BELOW:

- REPAIR, REPLACE, OR SUPPLEMENT PERIMETER CONTROL DEVICES WHEN IT BECOMES NONFUNCTIONAL OR SEDIMENT REACHES ½ THE HEIGHT OF THE DEVICE. COMPLETE REPAIRS BY THE END OF THE NEXT BUSINESS DAY FOLLOWING DISCOVERY.
- REPAIR OR REPLACE INLET PROTECTION DEVICES WHEN THEY BECOME NONFUNCTIONAL OR SEDIMENT REACHES ½ THE HEIGHT AND/OR DEPTH OF THE DEVICE. COMPLETE REPAIRS BY THE END OF THE NEXT BUSINESS DAY FOLLOWING DISCOVERY.
- DRAIN AND REMOVE SEDIMENT FROM TEMPORARY AND PERMANENT SEDIMENT BASINS ONCE THE SEDIMENT HAS REACHED ½ THE STORAGE VOLUME. COMPLETE WORK WITHIN 72 HOURS OF DISCOVERY.
- REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATER INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS. RESTABILIZE ANY AREAS THAT ARE DISTURBED BY SEDIMENT REMOVAL OPERATION. SEDIMENT REMOVAL AND STABILIZATION MUST BE COMPLETED WITHIN 7 DAYS OF DISCOVERY. PREPARE AND SUBMIT A SITE MANAGEMENT PLAN FOR WORKING IN SURFACE WATERS.
- REMOVE TRACKED SEDIMENT FROM PAVED SURFACES BOTH ON AND OFF SITE WITHIN 24 HOURS OF DISCOVERY. STREET SWEEPING MAY HAVE TO OCCUR MORE OFTEN TO MINIMIZE OFF SITE IMPACTS. LIGHTLY WET THE PAVEMENT PRIOR TO SWEEPING.

F. MAINTAIN ALL BMPS UNTIL WORK HAS BEEN COMPLETED, SITE HAS GONE UNDER FINAL STABILIZATION, AND THE NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.

## AREA SUMMARY

ACREAGE SUMMARY	
AREA	ACRES
PROPERTY	5.59
DISTURBED	5.14
IMP. PRE-CONSTRUCTION	0.01
IMP. POST-CONSTRUCTION	1.43
NEW IMP.	1.42
PERVIOUS AT COMPLETION	4.06

## SPECIAL SITE NOTES

IF SITE REQUIRES PERMANENT STORMWATER MANAGEMENT, HYDROLOGIC AND WATER QUALITY MODELING DATA IS AVAILABLE UPON REQUEST.

THE SWPPP COORDINATOR MUST BE AVAILABLE FOR AN ONSITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY THE MPCA AND SHALL BE RESPONSIBLE FOR THE FOLLOWING:

- SUBMIT THE NPDES PERMIT APPLICATION AND COMPLY WITH ALL REQUIREMENTS.
- IMPLEMENT THE SWPPP.
- OVERSEE INSTALLATION AND MAINTENANCE PRACTICES AND REPAIRS IDENTIFIED IN THE SWPPP.
- IMPLEMENT AND OVERSEE EMPLOYEE TRAINING AND RECORD IN OR WITH THE SWPPP.
- CONDUCT OR PROVIDE FOR INSPECTION AND MONITORING ACTIVITIES AND MAINTAIN LOGS AS PERMIT REQUIRES.
- IDENTIFY OTHER POTENTIAL POLLUTANT SOURCES NOT LISTED IN THE SWPPP AND ADD THEM.
- IDENTIFY ANY DEFICIENCIES IN THE SWPPP AND CORRECT THEM.
- ENSURE THAT CHANGES TO CONSTRUCTION PLANS ARE ADDRESSED IN THE SWPPP.
- FILE THE NOTICE OF TERMINATION UPON PROJECT COMPLETION.

AFTER THE NOTICE OF TERMINATION HAS BEEN FILED, THE OWNER SHALL BE RESPONSIBLE FOR ASSIGNING RESPONSIBILITY FOR PERMANENT MAINTENANCE MEASURES.

## PERMITS

THE FOLLOWING PERMITS APPLY TO THIS PROJECT:

AGENCY	TYPE OF PERMIT	PERMIT # AND DATES
MINNESOTA POLLUTION CONTROL AGENCY (MPCA)	NPDES CONSTRUCTION PERMIT	[#]
CITY OF COLOGNE	GRADING PERMIT	[#]
CITY OF COLOGNE	BUILDING PERMIT	[#]

## LOCATION OF SWPPP REQUIREMENTS

THE REQUIRED SWPPP ELEMENTS MAY BE LOCATED IN MANY PLACES WITHIN THE PLAN SET.

## SWPPP AMENDMENTS

A QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.

PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION, MAINTENANCE, WEATHER, OR SEASONAL CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.

PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPS AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.



13605 1st Avenue N. #100  
Plymouth, MN 55441 | ae-mn.com  
P 763.412.4000 | F 763.412.4090  
Anderson Engineering of Minnesota, LLC

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COLOGNE, MN 55322

RON OLSON

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: LEE KOPPY, PE

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## REVISION LOG

NO.	DESCRIPTION OF REVISIONS

## PRELIMINARY PLAT

7/3/2025

DESIGNED:	DRAWN:	CHECKED BY:
LRK	CDN	LRK

## DRAWING TITLE

## STORMWATER POLLUTION PREVENTION PLAN

DRAWING NO.

C5

PLOTTED:	COMM. NO.
JULY 3, 2025	18344

# STORM WATER POLLUTION PREVENTION PLAN NARRATIVE - PAGE 2 OR 2

## STABILIZATION TIME FRAMES

ALL AREAS DISTURBED BY CONSTRUCTION WILL RECEIVE SEED OR SOD ACCORDING TO THE PLANS AND SPECIFICATIONS AND WITHIN THE SPECIFIED VEGETATIVE TIME SCHEDULE. FINAL STABILIZATION WILL OCCUR WHEN THE SITE HAS A UNIFORM VEGETATIVE COVER WITH A DENSITY OF 70% OVER THE ENTIRE DISTURBED AREA COMPARED TO EXISTING CONDITIONS. ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPS MUST BE REMOVED AS PART OF THE SITE FINAL STABILIZATION. ALL SEDIMENT MUST BE CLEANED OUT OF CONVEYANCES AND TEMPORARY SEDIMENTATION BASINS IF APPLICABLE.

AREA	TIME FRAME	NOTES
LAST 200 LINEAL FEET OF DRAINAGE DITCH OR SWALE	WITHIN 24 HOURS OF CONNECTION TO SURFACE WATER OR PROPERTY EDGE	1, 2, 3
REMAINING PORTIONS OF DRAINAGE DITCH OR SWALE	7 DAYS	1, 3
PIPE AND CULVERT OUTLETS	24 HOURS	
STOCKPILES	7 DAYS	1

- INITIATE INLET STABILIZATION IMMEDIATELY WHEN CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED ON ANY PORTION OF THE SITE. COMPLETE STABILIZATION WITHIN THE TIME FRAME LISTED. IN MANY INSTANCES THIS WILL REQUIRE STABILIZATION TO OCCUR MORE THAN ONCE DURING THE COURSE OF THE PROJECT. TEMPORARY SOIL STOCKPILES WITHOUT SIGNIFICANT CLAY OR SILT AND STOCKPILED AND CONSTRUCTED ROAD BASE ARE NOT APPROPRIATE AND THEREFORE EXEMPT FROM THE STABILIZATION REQUIREMENT.
- APPLICATION OF MULCH, HYDROMULCH, TACKIFIER AND POLYACRYLAMIDE ARE NOT ACCEPTABLE STABILIZATION METHODS IN THESE AREAS.
- STABILIZE ALL AREAS OF THE SITE PRIOR TO THE ONSET OF WINTER. ANY WORK STILL BEING PERFORMED WILL BE SNOW MULCHED, SEEDED, AND BLANKETED WITHIN THE TIME FRAMES IN THE NPDES PERMIT.
- TOPSOIL BERMS MUST BE STABILIZED IN ORDER TO BE CONSIDERED PERIMETER CONTROL BMPS. USE RAPID STABILIZATION METHOD 2, 3, OR 4 AS DIRECTED BY THE ENGINEER. THE SEED MIX USED IN THE RAPID STABILIZATION MAY BE SUBSTITUTED AS FOLLOWS:
  - SINGLE YEAR CONSTRUCTION BETWEEN MAY 1 & AUG. 1 SEED WITH OATS (O)
  - SINGLE YEAR CONSTRUCTION BETWEEN AUG. 1 & OCT. 31 SEED WITH WINTER WHEAT (WW)
  - MULTI YEAR CONSTRUCTION SEED WITH TWO-YEAR COVER CROP (TCC)
- KEEP DITCHES AND EXPOSED SOILS IN AN EVEN ROUGH GRADED CONDITION IN ORDER TO BE ABLE TO APPLY EROSION CONTROL MULCHES, HYDROMULCHES AND BLANKETS.

## GENERAL SWPPP NOTES FOR CONSTRUCTION ACTIVITY

- CONTRACTOR SHALL AMEND THE SWPPP AND DOCUMENT ANY AND ALL CHANGES TO THE SWPPP AND ASSOCIATED PLAN SHEETS WITHIN 7 DAYS UPON IMPLEMENTATION. STORE THE SWPPP AND ALL AMENDMENTS ON SITE AT ALL TIMES.
- PREPARE AND SUBMIT A SITE MANAGEMENT PLAN FOR THE ENGINEER'S ACCEPTANCE FOR CONCRETE MANAGEMENT, CONCRETE SLURRY APPLICATION AREAS, WORK IN AND NEAR AREAS OF ENVIRONMENTAL SENSITIVITY, AREAS IDENTIFIED IN THE PLANS AS "SITE MANAGEMENT PLAN AREA", ANY WORK THAT WILL REQUIRE DEWATERING, AND AS REQUESTED BY THE ENGINEER. SUBMIT ALL SITE MANAGEMENT PLANS TO THE ENGINEER IN WRITING. ALLOW A MINIMUM OF 7 DAYS FOR THE ENGINEER TO REVIEW AND ACCEPT SITE MANAGEMENT PLAN SUBMITTALS. WORK WILL NOT BE ALLOWED TO COMMENCE IF A SITE MANAGEMENT PLAN IS REQUIRED UNTIL ACCEPTANCE HAS BEEN GRANTED BY THE ENGINEER. THERE WILL BE NO EXTRA TIME ADDED TO THE CONTRACT DUE TO THE UNTIMELY SUBMITTAL.
- IT IS THE DESIGNER'S INTENT THAT THE CONTRACTOR BUILD PONDS AND INSTALL EROSION CONTROL BMPS BEFORE PUTTING THEM INTO ACTIVE SERVICE TO THE MAXIMUM EXTENT PRACTICABLE.
- BURNING OF ANY MATERIAL IS NOT ALLOWED WITHIN PROJECT BOUNDARY.
- DO NOT DISTURB AREAS OUTSIDE OF THE CONSTRUCTION LIMITS. DELINEATE AREAS NOT TO BE DISTURBED PRIOR TO STARTING GROUND DISTURBING ACTIVITIES. IF IT BECOMES NECESSARY TO DISTURB AREAS OUTSIDE OF THE CONSTRUCTION LIMITS, OBTAIN WRITTEN PERMISSION FROM THE PROJECT ENGINEER PRIOR TO PROCEEDING. PRESERVE ALL NATURAL BUFFERS SHOWN ON THE PLANS.
- ROUTE STORMWATER AROUND UNSTABILIZED AREAS OF THE SITE WHENEVER FEASIBLE. PROVIDE EROSION CONTROL AND VELOCITY DISSIPATION DEVICES AS NEEDED TO KEEP CHANNELS FROM ERODING AND TO PREVENT NUISANCE CONDITIONS AT THE OUTLET.
- DIRECT DISCHARGES FROM BMPS TO VEGETATED AREA WHENEVER FEASIBLE. PROVIDE VELOCITY DISSIPATION DEVICES AS NEEDED TO PREVENT EROSION.
- THE EROSION PREVENTION AND SEDIMENT CONTROL BMPS SHALL BE PLACED AS NECESSARY TO MINIMIZE EROSION FROM DISTURBED SURFACES AND TO CAPTURE SEDIMENT ON SITE. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY REMOVAL WORK AND/OR GROUND DISTURBING ACTIVITIES COMMENCE.
- ESTABLISH SEDIMENT CONTROL DEVICES ON ALL DOWN GRADIENT PERIMETERS AND UP GRADIENT OF ANY BUFFER ZONES BEFORE UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN. MAINTAIN SEDIMENT CONTROL DEVICES UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- LOCATE PERIMETER CONTROL ON THE CONTOUR TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS DOWN GRADIENT OF ALL EXPOSED SOILS AND PRIOR TO DISCHARGING TO SURFACE WATERS. PLACE J-HOOKS AT A MAXIMUM OF 100 FOOT INTERVALS.
- PROVIDE PERIMETER CONTROL AROUND ALL STOCKPILES. PLACE BMP A MINIMUM 5 FEET FROM THE TOE OF SLOPE WHERE FEASIBLE. DO NOT PLACE STOCKPILES IN NATURAL BUFFER AREAS, SURFACE WATERS OR STORMWATER CONVEYANCES.
- FLOATING SILT CURTAIN IS ALLOWED AS PERIMETER CONTROL FOR IN WATER WORK ONLY. INSTALL THE FLOATING SILT CURTAIN AS CLOSE TO SHORE AS POSSIBLE. PLACE PERIMETER CONTROL BMP ON LAND IMMEDIATELY AFTER THE IN WATER WORK IS COMPLETED.

- DITCH CHECKS WILL BE PLACED AS INDICATED ON THE PLANS DURING ALL PHASES OF CONSTRUCTION.
- PLACE CONSTRUCTION EXITS, AS NECESSARY, TO PREVENT TRACKING OF SEDIMENT ONTO PAVED SURFACES BOTH ON AND OFF THE PROJECT SITE. PROVIDE CONSTRUCTION EXITS OF SUFFICIENT SIZE TO PREVENT TRACK OUT. MAINTAIN CONSTRUCTION EXITS WHEN EVIDENCE OF TRACKING IS DISCOVERED. REGULAR STREET SWEEPING IS NOT AN ACCEPTABLE ALTERNATIVE TO PROPER CONSTRUCTION EXIT INSTALLATION AND MAINTENANCE. CONSTRUCTION EXITS ARE INCIDENTAL.
- DISCHARGE TURBID OR SEDIMENT LADEN WATER TO TEMPORARY SEDIMENT BASINS WHENEVER FEASIBLE. IN THE EVENT THAT IT IS NOT FEASIBLE TO DISCHARGE THE SEDIMENT LADEN WATER TO A TEMPORARY SEDIMENT BASIN, THE WATER MUST BE TREATED SO THAT IT DOES NOT CAUSE A NUISANCE CONDITION IN THE RECEIVING WATERS OR TO DOWNSTREAM LANDOWNERS. CLEAN OUT ALL PERMANENT STORMWATER BASINS REGARDLESS OF WHETHER USED AS TEMPORARY SEDIMENT BASINS OR TEMPORARY SEDIMENT TRAPS TO THE DESIGN CAPACITY AFTER ALL UP GRADIENT LAND DISTURBING ACTIVITY IS COMPLETED.
- PROVIDE SCOUR PROTECTION AT ANY OUTFALL OF DEWATERING ACTIVITIES.
- PROVIDE STABILIZATION IN ANY TRENCHES CUT FOR DEWATERING OR SITE DRAINING PURPOSES.

## POLLUTION PREVENTION

- PROVIDE A SPILL KIT AT EACH WORK LOCATION ON THE SITE.
- STORE ALL BUILDING MATERIALS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS, PESTICIDES, HERBICIDES, INSECTICIDES, FERTILIZERS, TREATMENT CHEMICALS, AND LANDSCAPE MATERIALS UNDER COVER WITH SECONDARY CONTAINMENT.
- PROVIDE A SECURE STORAGE AREA WITH RESTRICTED ACCESS FOR ALL HAZARDOUS MATERIALS AND TOXIC WASTE. RETURN ALL HAZARDOUS MATERIALS AND TOXIC WASTE TO THE DESIGNATED STORAGE AREA AT THE END OF THE BUSINESS DAY UNLESS INFEASIBLE. STORE ALL HAZARDOUS MATERIALS AND TOXIC WASTE (INCLUDING BUT NOT LIMITED TO OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT, PETROLEUM BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS WITH SECONDARY CONTAINMENT. CLEAN UP SPILLS IMMEDIATELY.
- STORE, COLLECT AND DISPOSE OF ALL SOLID WASTE.
- POSITION ALL PORTABLE TOILETS SO THAT THEY ARE SECURE AND CANNOT BE TIPPED OR KNOCKED OVER. PROPERLY DISPOSE OF ALL SANITARY WASTE.
- FUEL AND MAINTAIN VEHICLES IN A DESIGNATED CONTAINED AREA WHENEVER FEASIBLE. USE DRIP PANS OR ABSORBENT MATERIALS TO PREVENT SPILLS OR LEAKED CHEMICALS FROM DISCHARGING TO SURFACE WATER OR STORMWATER CONVEYANCES. PROVIDE A SPILL KIT AT EACH LOCATION THAT VEHICLES AND EQUIPMENT ARE FUELED OR MAINTAINED AT.
- LIMIT VEHICLE AND EQUIPMENT WASHING TO A DEFINED AREA OF THE SITE. CONTAIN RUNOFF FROM THE WASHING AREA TO A TEMPORARY SEDIMENT BASIN OR OTHER EFFECTIVE CONTROL. PROPERLY DISPOSE OF ALL WASTE GENERATED BY VEHICLE AND EQUIPMENT WASHING. ENGINE DEGREASING IS NOT ALLOWED ON THE SITE.
- PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS. LIQUID AND SOLID WASHOUT WASTES MUST NOT CONTACT THE GROUND. DESIGN THE CONTAINMENT SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR CONTAINMENT AREA.
- CREATE AND FOLLOW A WRITTEN DISPOSAL PLAN FOR ALL WASTE MATERIALS. INCLUDE IN THE PLAN HOW THE MATERIAL WILL BE DISPOSED OF AND THE LOCATION OF THE DISPOSAL SITE. SUBMIT PLAN TO THE ENGINEER.
- USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT DISCHARGE OR PLACEMENT OF BITUMINOUS GRINDINGS, CUTTING, MILLINGS, AND OTHER BITUMINOUS WASTES FROM AREAS OF EXISTING OR FUTURE VEGETATED SOILS AND FROM ALL WATER CONVEYANCE SYSTEMS, INCLUDING INLETS, DITCHES AND CURB FLOW LINES.
- USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT CONCRETE DUST, PARTICLES, CONCRETE WASH OUT, AND OTHER CONCRETE WASTES FROM LEAVING SITE, DEPOSITING IN EXISTING OR FUTURE VEGETATED AREAS, AND FROM ENTERING STORMWATER CONVEYANCE SYSTEMS, INCLUDING INLETS, DITCHES AND CURB FLOW LINES. USE METHODS AND OPERATIONAL PROCEDURES THAT PREVENT SAW CUT SLURRY AND PLANING WASTE FROM LEAVING SITE AND FROM ENTERING STORMWATER CONVEYANCE SYSTEMS INCLUDING DITCHES AND CULVERTS.

## RECORD RETENTION

THE SWPPP, ALL CHANGES TO IT AND INSPECTION AND MAINTENANCE RECORDS MUST BE KEPT ON-SITE DURING CONSTRUCTION. THE OWNER MUST RETAIN A COPY OF THE SWPPP ALONG WITH THE FOLLOWING RECORDS FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOTICE OF TERMINATION (NOT):

- ANY OTHER PERMITS REQUIRED FOR THE PROJECT.
- RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION
- ALL PERMANENT OPERATIONS AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE; AND
- ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

## SWPPP SCHEDULE OF INSTALLATION & MAINTENANCE

ITEM	INSTALLATION	INSPECTION & MAINTENANCE	REMOVAL
SILT FENCE	PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS.	INSPECT & MAINT. AFTER EACH RUN-OFF EVENT. REMOVE SEDIMENTS AS REQUIRED.	AFTER TRIBUTARY DRAINAGE AREA IS RESTORED.
ROCK CONST. ENTRANCE	PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS.	INSPECT REGULARLY. MAINTAIN AS NEEDED.	PRIOR TO PAVING.
OUTLET SKIMMER STRUCTURE	AFTER POND GRADING IS COMPLETED.	INSPECT REGULARLY. MAINTAIN AS NEEDED.	PERMANENT.
RIP-RAP & FILTER	UPON COMPLETION OF POND GRADING, CONC. SWALE CONST. AND OUTLET INSTALLATION.	INSPECT & MAINTAIN AT LEAST ANNUALLY AND AFTER HEAVY RAINFALL EVENT.	PERMANENT.
DETENTION POND	DURING EARTHWORK OPERATIONS.	AFTER HEAVY RAINFALL EVENTS. REMOVE SEDIMENTS AS NEEDED.	PERMANENT.
SEED & MULCH	AFTER POND GRADING IS COMPLETED.	INSPECT & MAINTAIN AFTER HEAVY RAINS. REPLACE WASH-OUT AREAS IMMEDIATELY	NO REMOVAL NECESSARY.
INLET PROTECTION	UPON INLET CONSTRUCTING	WHEN 1/3 CAPACITY OF BMP IS REACHED	AFTER TRIBUTARY AREAS ARE FULLY RESTORED

## DESCRIPTION OF PERMANENT STORMWATER TREATMENT SYSTEMS

THE PROPOSED STORMWATER POND WILL HAVE A IRON-ENHANCED SAND FILTER FOR PRETREATMENT. DETAILS AND CALCULATIONS FOR THIS SYSTEM CAN BE FOUND IN THE STORMWATER REPORT.

## ESTIMATED BMPS QUANTITIES

BMP	ORIGINAL ESTIMATE	MODIFICATION	DATE
ENERGY DISSIPATER			
TEMP. DIVERSION DIKES			
CHECK DAMS			
TEMP SEEDING			
PERMANENT SEEDING			
PERMANENT SODDING	141,166 SF		
MULCHES (SPECIFY TYPES)			
CAT 3 EROSION CONTROL BLANKET			
SOIL TACKIFIERS			
SILT FENCING	1,971 LF		
EROSION CONTROL MATS			
STORM DRAIN INLET PROTECTION	5 EACH		
TEMPORARY OR PERMANENT SEDIMENTATION BASINS			
CONSTRUCTION ENTRANCE	1 EACH		
DEWATERING (TREATMENT LOCATION, SCHEMATIC, & SAMPLING PLAN REQUIRED)			
CONCRETE TRUCK WASHOUT			



**ANDERSON**

13605 1st Avenue N. #100  
Plymouth, MN 55441 | [ae-mn.com](http://ae-mn.com)  
P 763.412.4000 | F 763.412.4090  
Anderson Engineering of Minnesota, LLC

## THE VILLAGE AT COLOGNE 18TH ADDITION

COLOGNE, MN 55322

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DESIGNED:	DRAWN:	CHECKED BY:
LRK	CDN	LRK

## DRAWING TITLE

# STORMWATER POLLUTION PREVENTION PLAN

DRAWING NO.

**C6**

PLOTTED:	COMM. NO.
JULY 3, 2025	18344



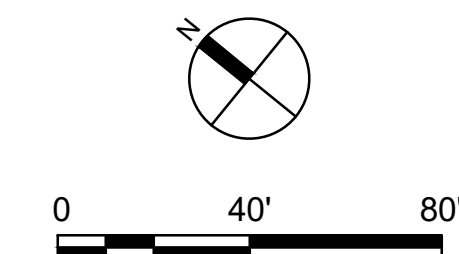
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## LEGEND

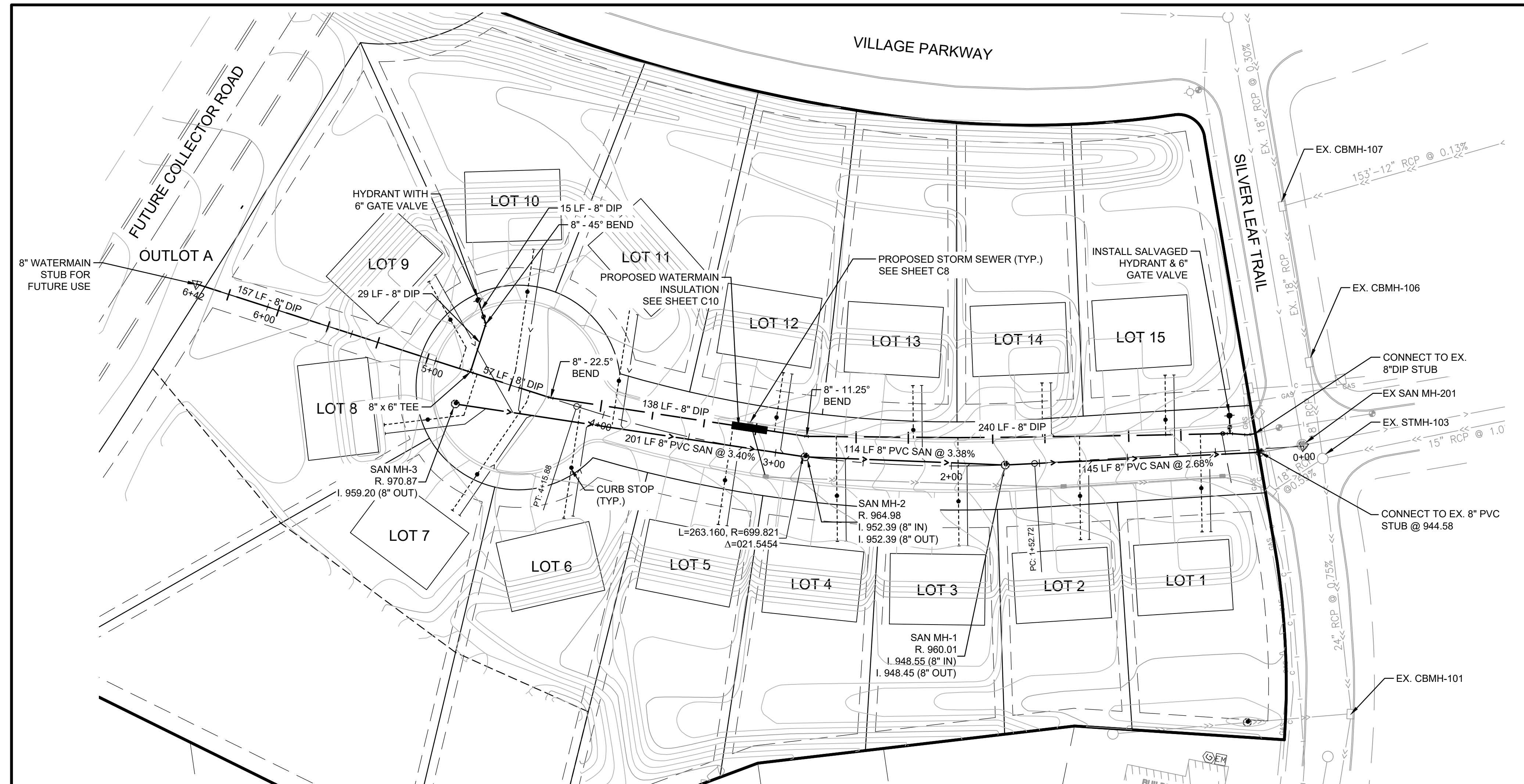
- PROPERTY LIMITS
- CONSTRUCTION LIMITS
- EXISTING WATERMAIN
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED WATER SERVICE WITH CURB STOP
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED STORM SEWER
- PROPOSED DRAINTILE
- PROPOSED WATERMAIN FITTING
- PROPOSED WATERMAIN INSULATION
- PROPOSED SANITARY MANHOLE AND CLEANOUT
- PROPOSED STORM INLETS

## UTILITY NOTES

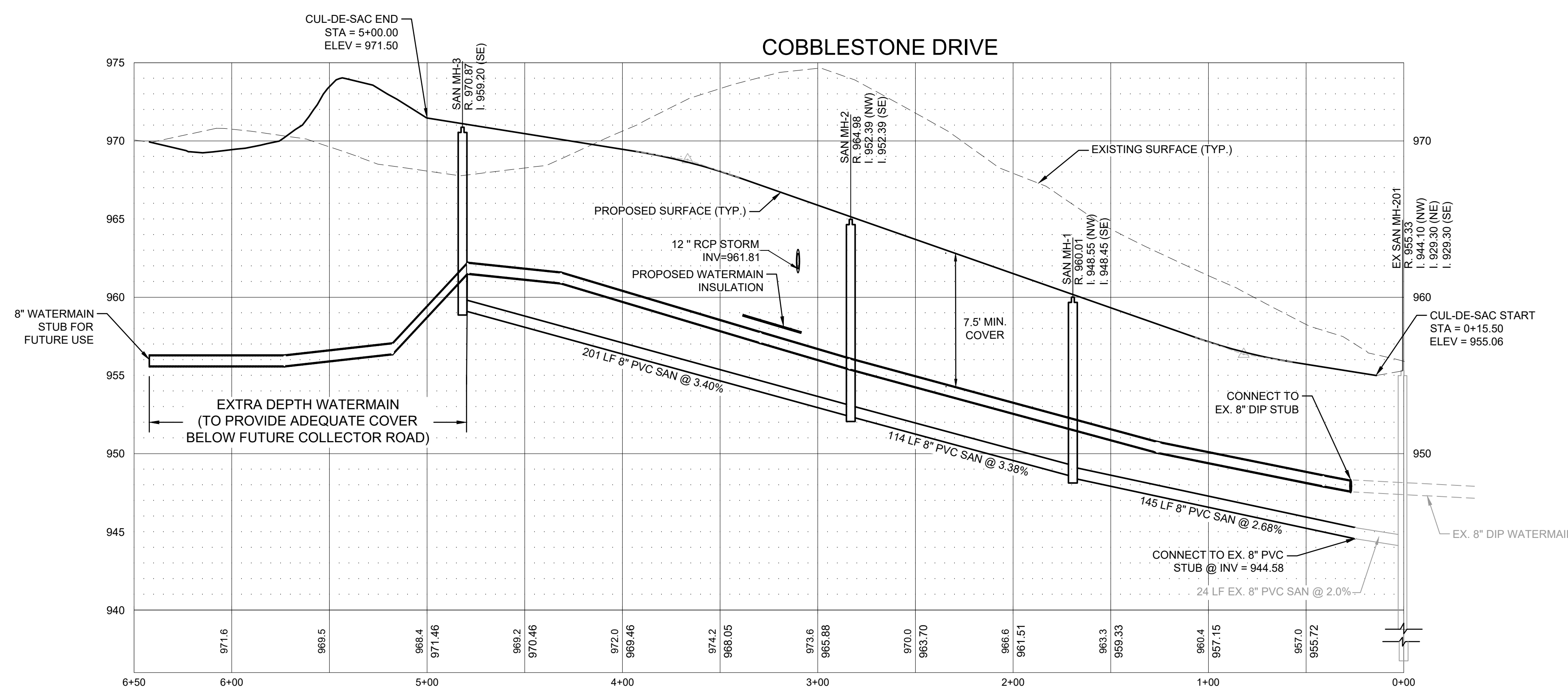
- ALL WATERMAIN TO BE INSTALLED WITH 7.5' MINIMUM COVER.
- PROVIDE 10.0' MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATERMAIN.
- WATERMAIN DISTANCES ARE MEASURED BETWEEN FITTINGS (BENDS, TEES, PLUGS).
- THE CONTRACTOR IS REQUIRED TO ADHERE TO THE SPECIFICATIONS AND REGULATIONS SET FORTH BY THE CITY/UTILITY PROVIDER, CEAM, AND MINNESOTA PLUMBING CODE (MINNESOTA RULES CHAPTER 4714) CONCERNING THE MATERIALS, INSTALLATION, AND TESTING OF WATER AND SANITARY UTILITIES. VERIFY RECEIPT OF ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.

## MN DOLI NOTES

- ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE 2020 MINNESOTA PLUMBING CODE, CHAPTER 4714. ALL PIPE, PIPE FITTINGS, TRAPS, FIXTURES, MATERIAL, AND DEVICES IN THE PLUMBING SYSTEM SHALL MEET THEIR RELEVANT CODE SECTION REQUIREMENTS:
  - BE LISTED OR LABELED (THIRD PARTY CERTIFIED) BY A LISTING AGENCY.
  - COMPLY WITH THE APPROVED RECOGNIZED STANDARDS REFERENCED IN THE 2020 MINNESOTA PLUMBING CODE.
  - BE FREE OF DEFECTS.
- PVC SANITARY SEWERS MUST MEET ASTM D1785, D2665, D3034, F794, F891, F949, DR1488 WITH APPROVED FITTINGS. SOLVENT WELDED JOINTS MUST USE ASTM F656 PURPLE PRIMER AND ASTM D2564 CEMENT. THE SEWER MUST BE INSTALLED BY OPEN TRENCH ON A CONTINUOUS GRANULAR BED PER ASTM D2321.
- PE AND HDPE WATER SERVICES MUST MEET ASTM D2239, ASTM D2737, ASTM D3035, AWWA C901, OR CSA B137.1. INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS (SEE 2020 MN PLUMBING CODE TABLE 604.1, SECTION 605.7, AND INSTALLATION STANDARD 7). JOINTS MUST BE HEAT FUSED OR USE APPROVED INSERT FITTINGS WITH STAINLESS STEEL.
- STORM SEWERS WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE MUST BE TESTED PER 2020 MN PLUMBING CODE SECTION 1109.0.
- HDPE STORM AND SANITARY SEWERS MUST MEET ASTM F714. WHEN APPROVED FOR USE AS A STORM OR SANITARY SEWER MATERIAL. INSTALLATION OF HDPE MUST MEET THE FOLLOWING REQUIREMENTS:
  - WATER TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS, INCLUDING STRUCTURES.
  - INSTALLATION MUST BE BY OPEN TRENCH ON A CONTINUOUS GRANULAR BED PER ASTM D2321.
  - THE CONNECTION BETWEEN HDPE TO A BUILDING SEWER OF DIFFERENT MATERIAL MUST BE MADE THROUGH AN APPROVED TRANSITION COUPLING FOR THE INTENDED MATERIALS.



## COBBLESTONE DRIVE



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7/3/2025

DESIGNED: LRK	DRAWN: MAM	CHECKED BY: LRK
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## DRAWING TITLE

# UTILITY PLAN

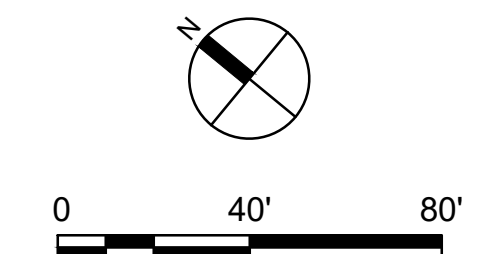
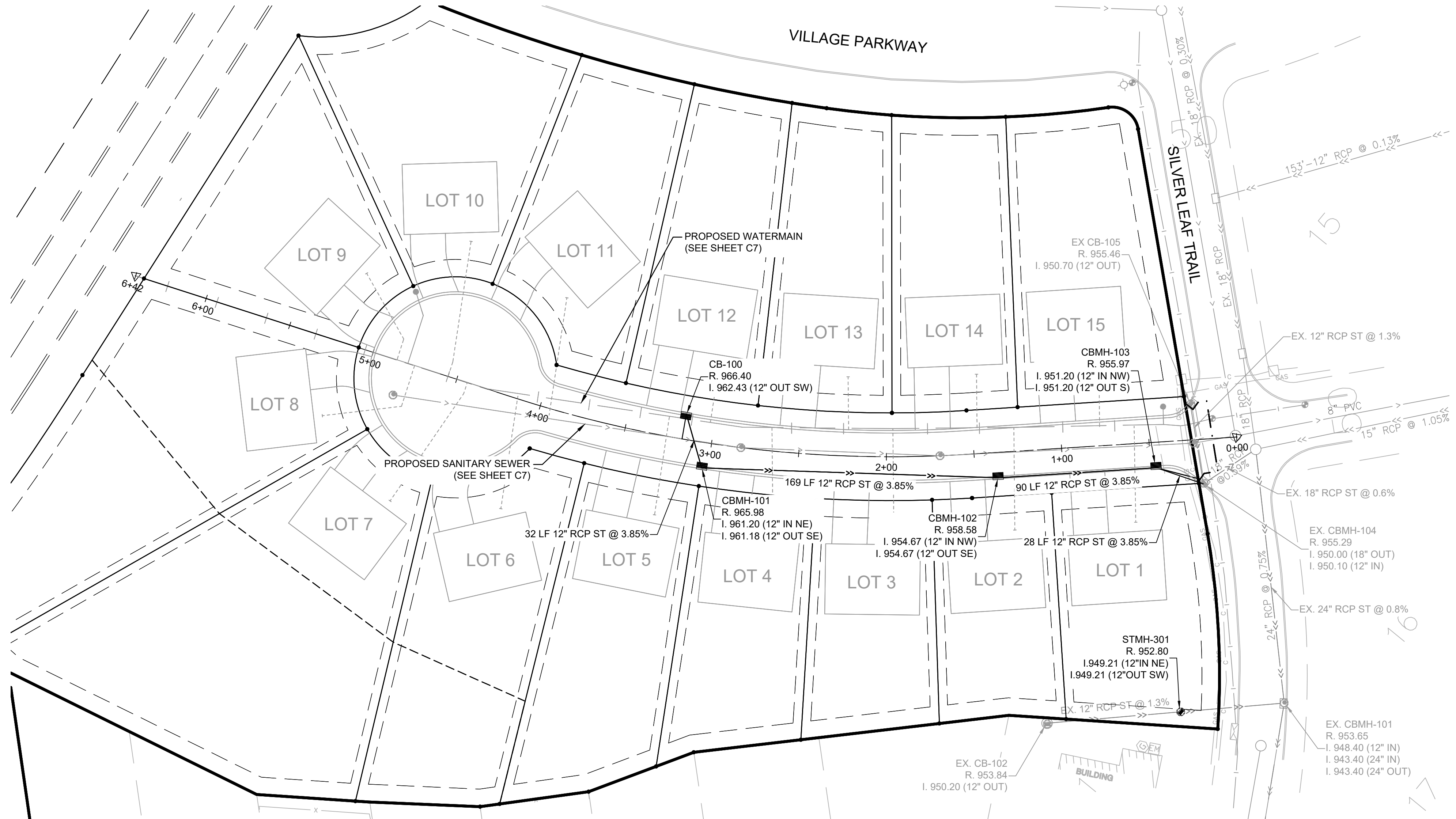
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# C7

PLOTTED: JULY 3, 2025	COMM. NO. 18344
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**LEGEND**

	PROPERTY LIMITS
	CONSTRUCTION LIMITS
	EXISTING WATERMAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED WATERMAIN
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED DRAINTILE
	PROPOSED WATERMAIN FITTING
	PROPOSED SANITARY MANHOLE AND CLEANOUT
	PROPOSED STORM INLETS

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DESIGNED: LRK	DRAWN: MAM	CHECKED BY: LRK
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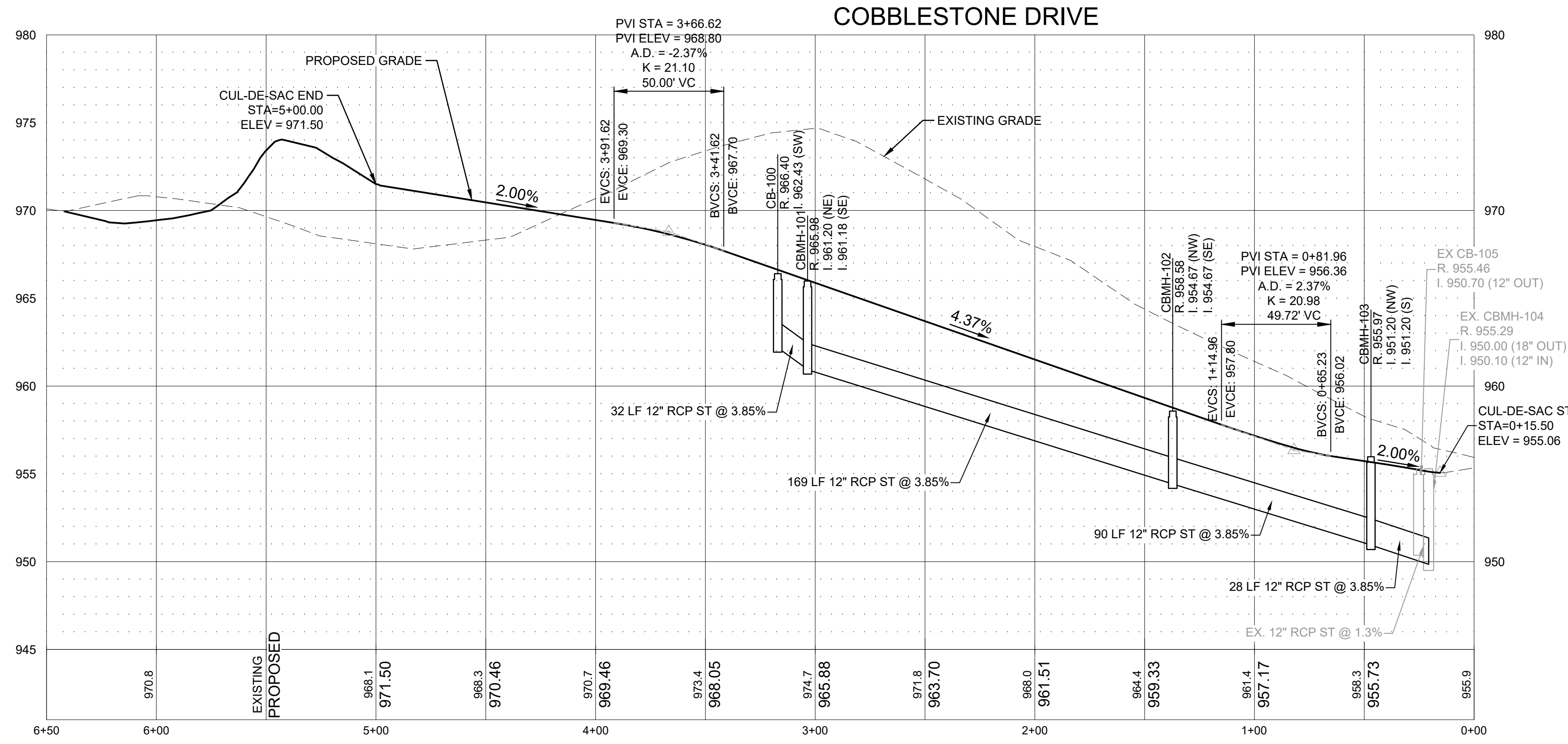
**DRAWING TITLE**

**STREET & STORM SEWER PLAN**

DRAWING NO.

**C8**

PLOTTED: JULY 3, 2025	COMM. NO. 18344
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**ANDERSON**

13605 1st Avenue N. #100  
Plymouth, MN 55441 | ae-mn.com  
P 763.412.4000 | F 763.412.4090  
Anderson Engineering of Minnesota, LLC

# THE VILLAGE AT COLOGNE 18TH ADDITION

COLOGNE, MN 55322

RON OLSON

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: LEE KOPPY, PE

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 7/3/2025 LICENSE NO. 41267

### REVISION LOG

NO.	DESCRIPTION OF REVISIONS

### PRELIMINARY PLAT

7/3/2025

DESIGNED: LRK	DRAWN: CDN	CHECKED BY: LRK
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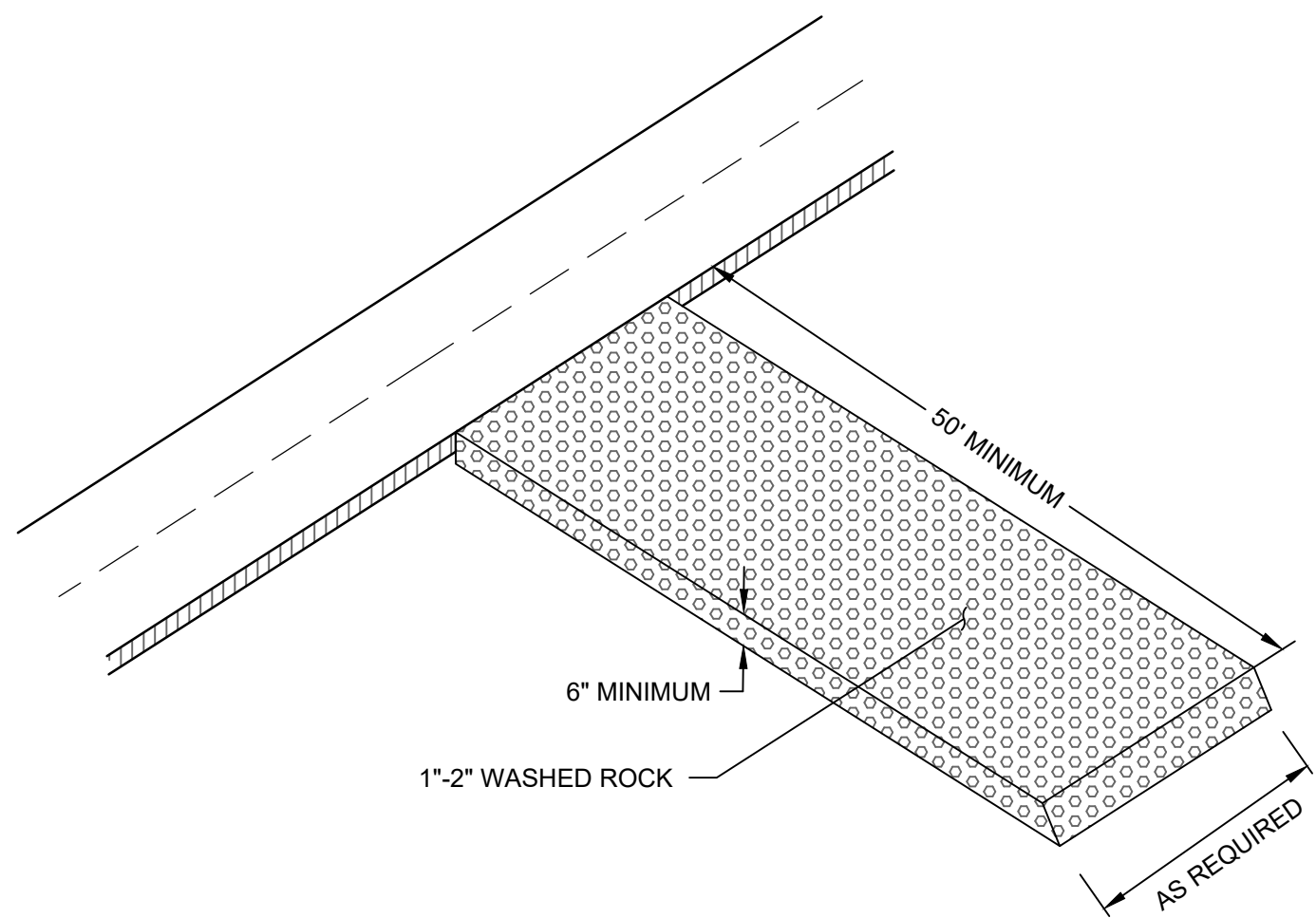
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# CIVIL DETAILS

DRAWING NO.

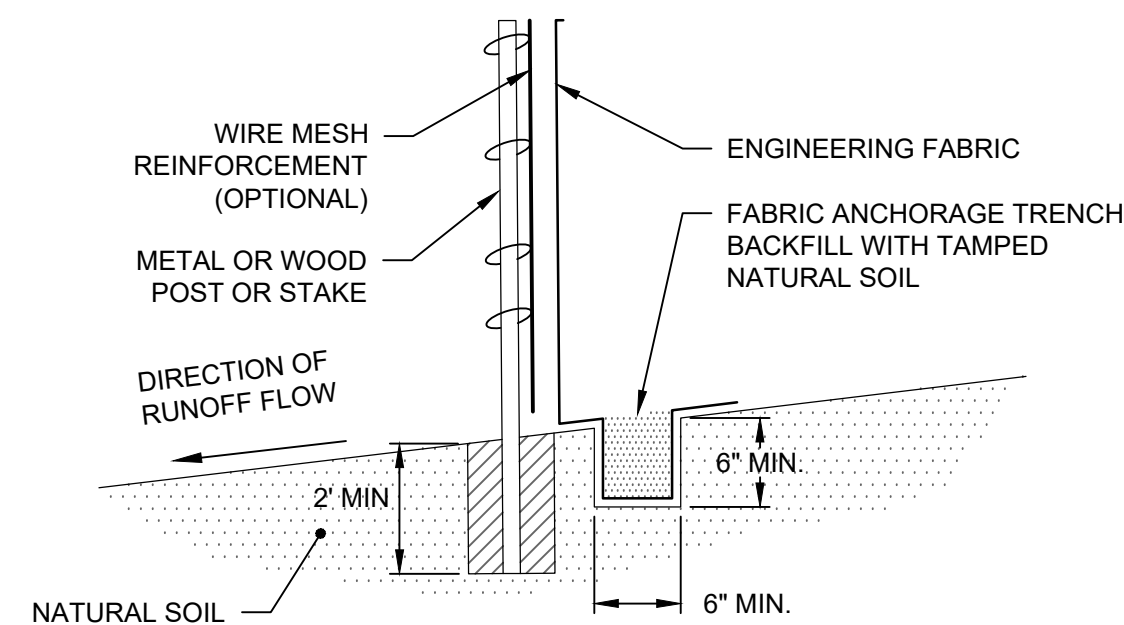
# C9

PLOTTED: JULY 3, 2025	COMM. NO. 18344
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**1** ROCK CONSTRUCTION ENTRANCE

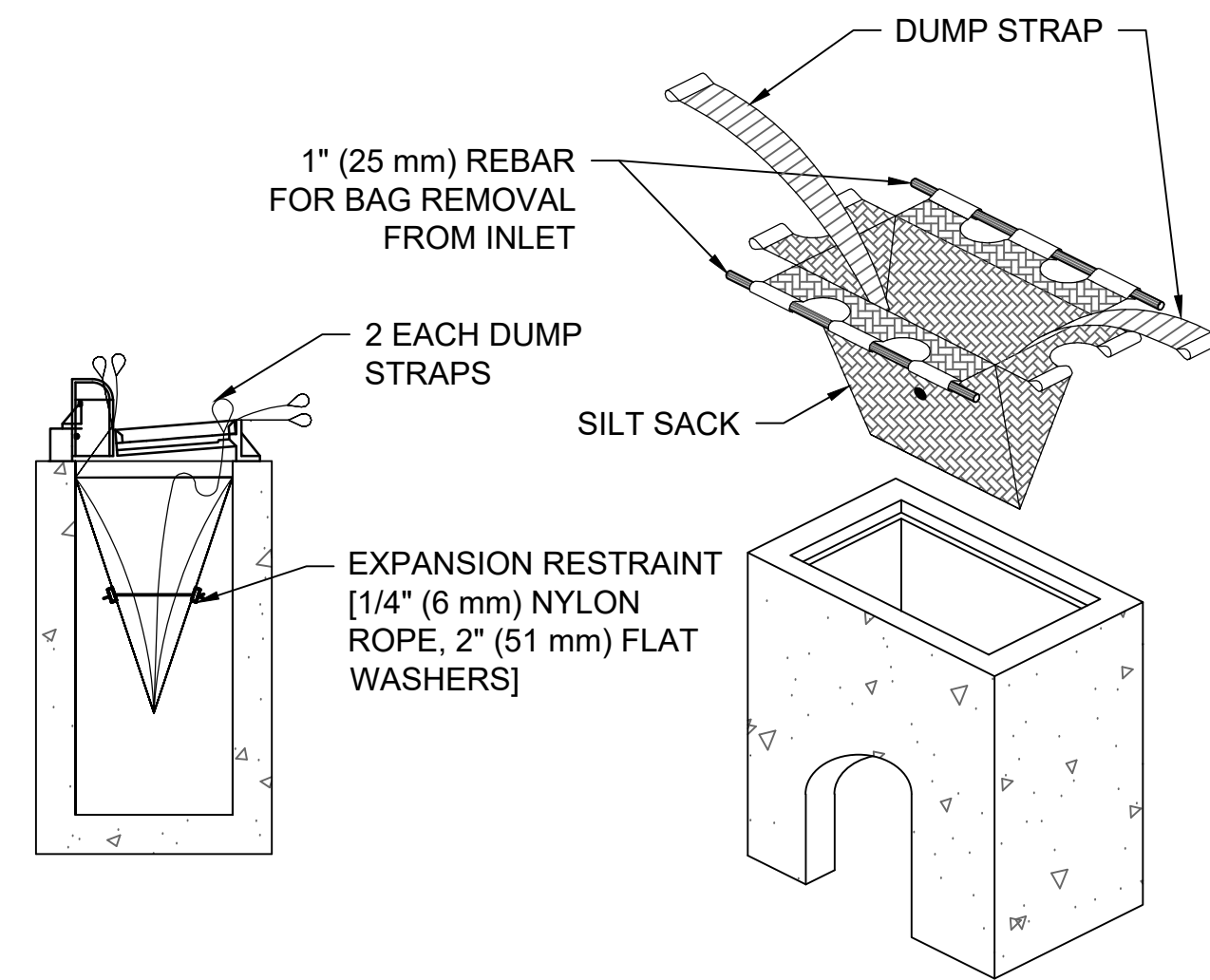
SCALE: NTS



NOTE: DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH TIE WIRES, OR WOOD POSTS WITH STAPLES.

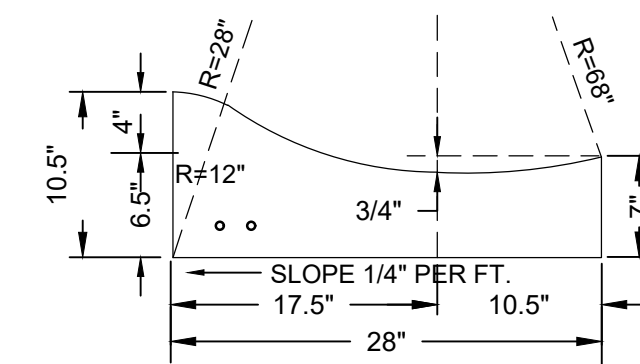
**2** SILT FENCE

SCALE: NTS



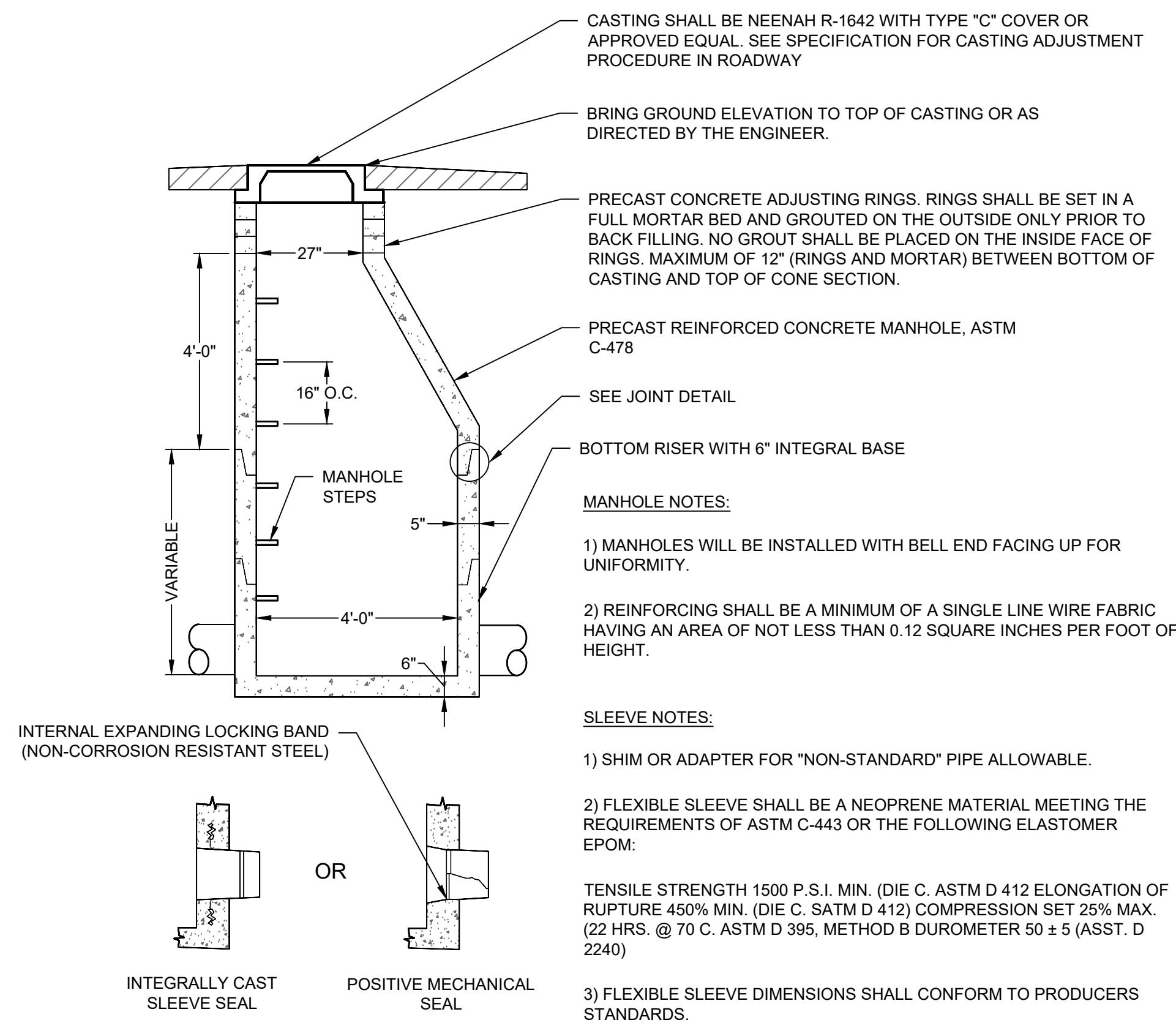
**3** INLET SEDIMENT PROTECTION

SCALE: NTS



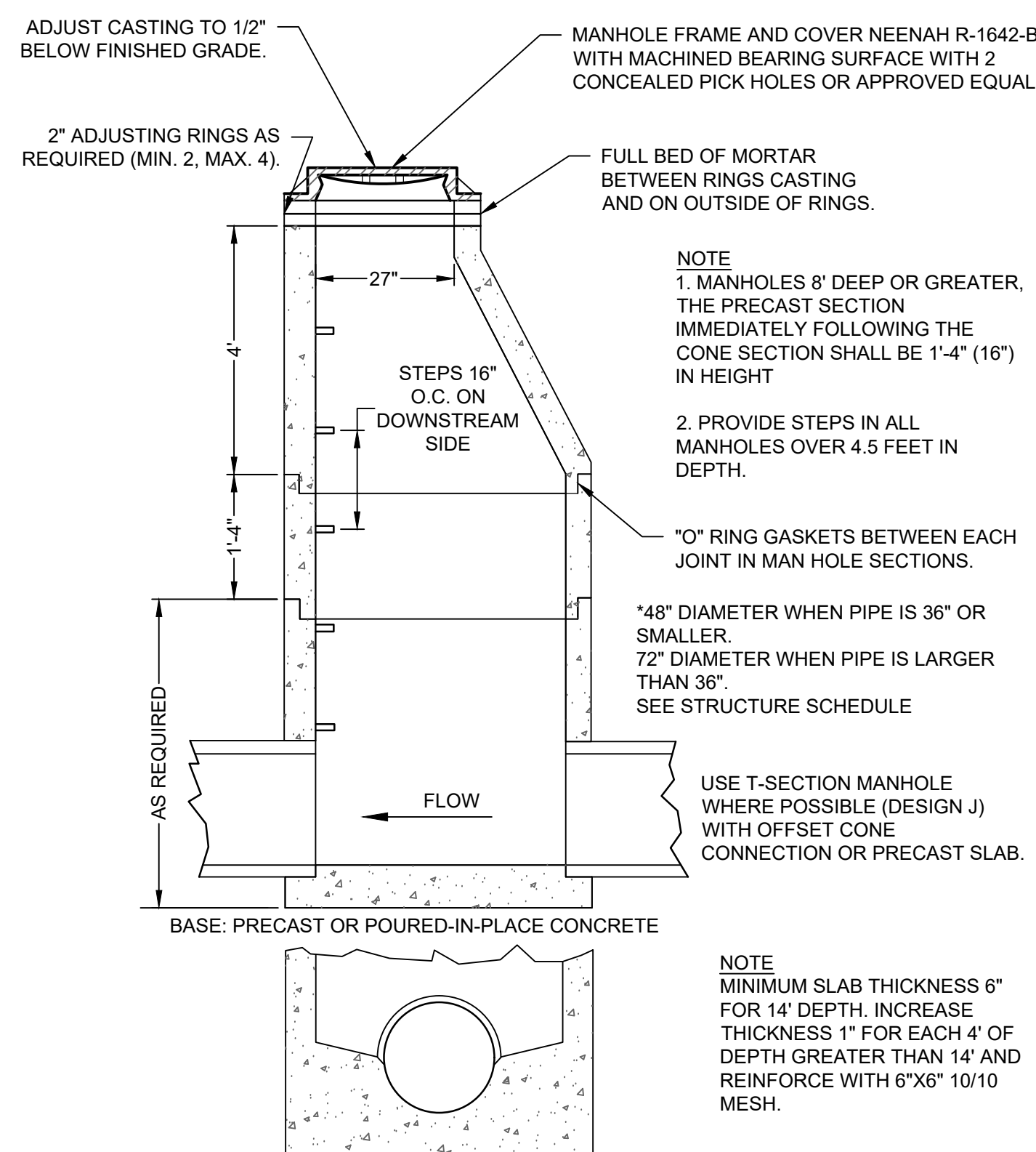
**4** MOUNTABLE CURB AND GUTTER

SCALE: NOT TO SCALE



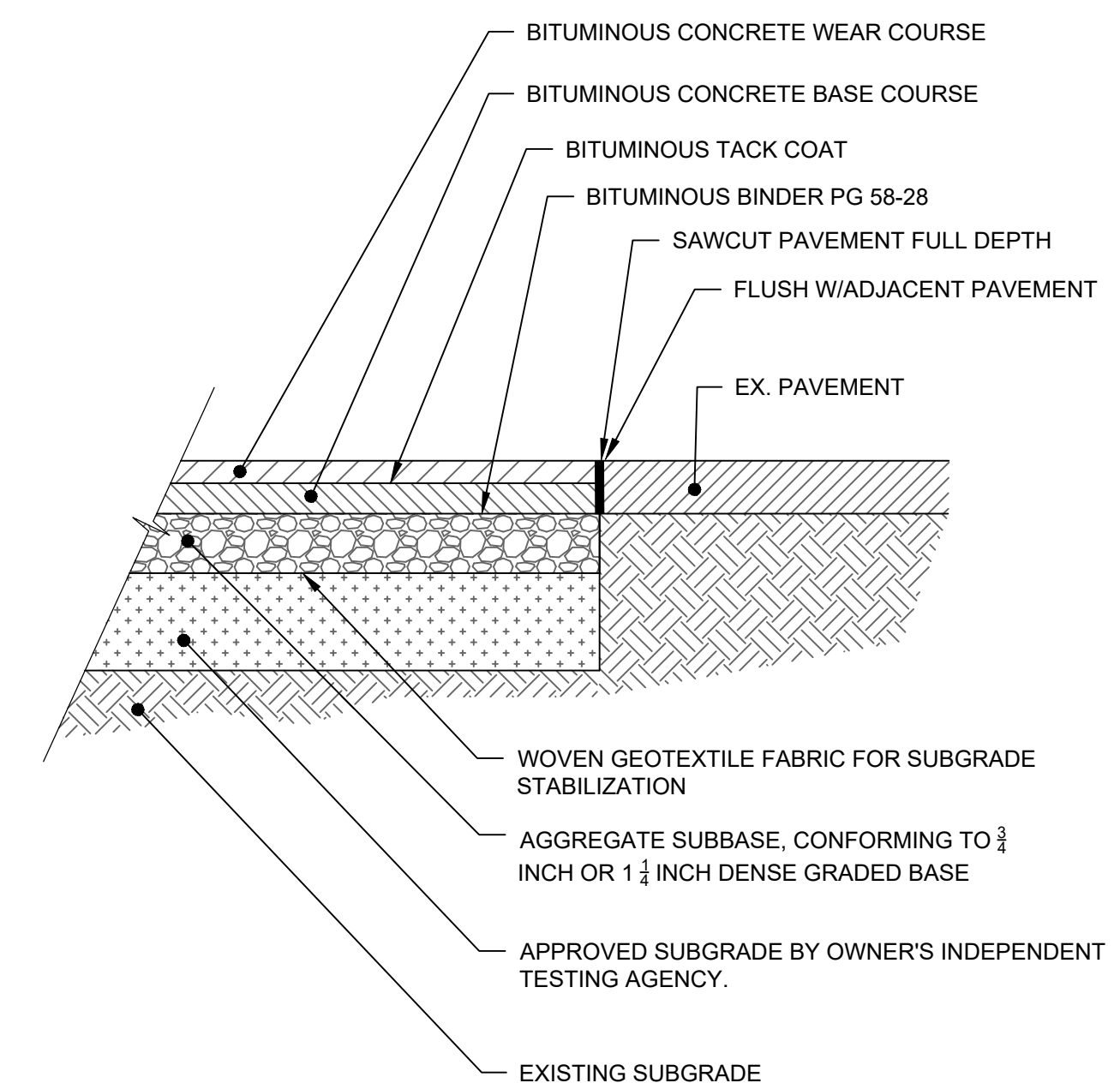
**5** SANITARY MANHOLE

SCALE: NOT TO SCALE



**6** STORMWATER MANHOLE

SCALE: NOT TO SCALE



**7** BITUMINOUS PAVEMENT SECTION

SCALE: NOT TO SCALE

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Plymouth, MN 55441 | [ae-mn.com](mailto:ae-mn.com)  
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COLOGNE, MN 55322

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PRINT NAME: LEE KOPPY, PE

SIGNATURE: **NOT FOR CONSTRUCTION**

DATE: 7/3/2025 LICENSE NO. 41267

### REVISION LOG

NO.	DESCRIPTION OF REVISIONS

### PRELIMINARY PLAT

7/3/2025

DESIGNED: LRK	DRAWN: CDN	CHECKED BY: LRK
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### DRAWING TITLE

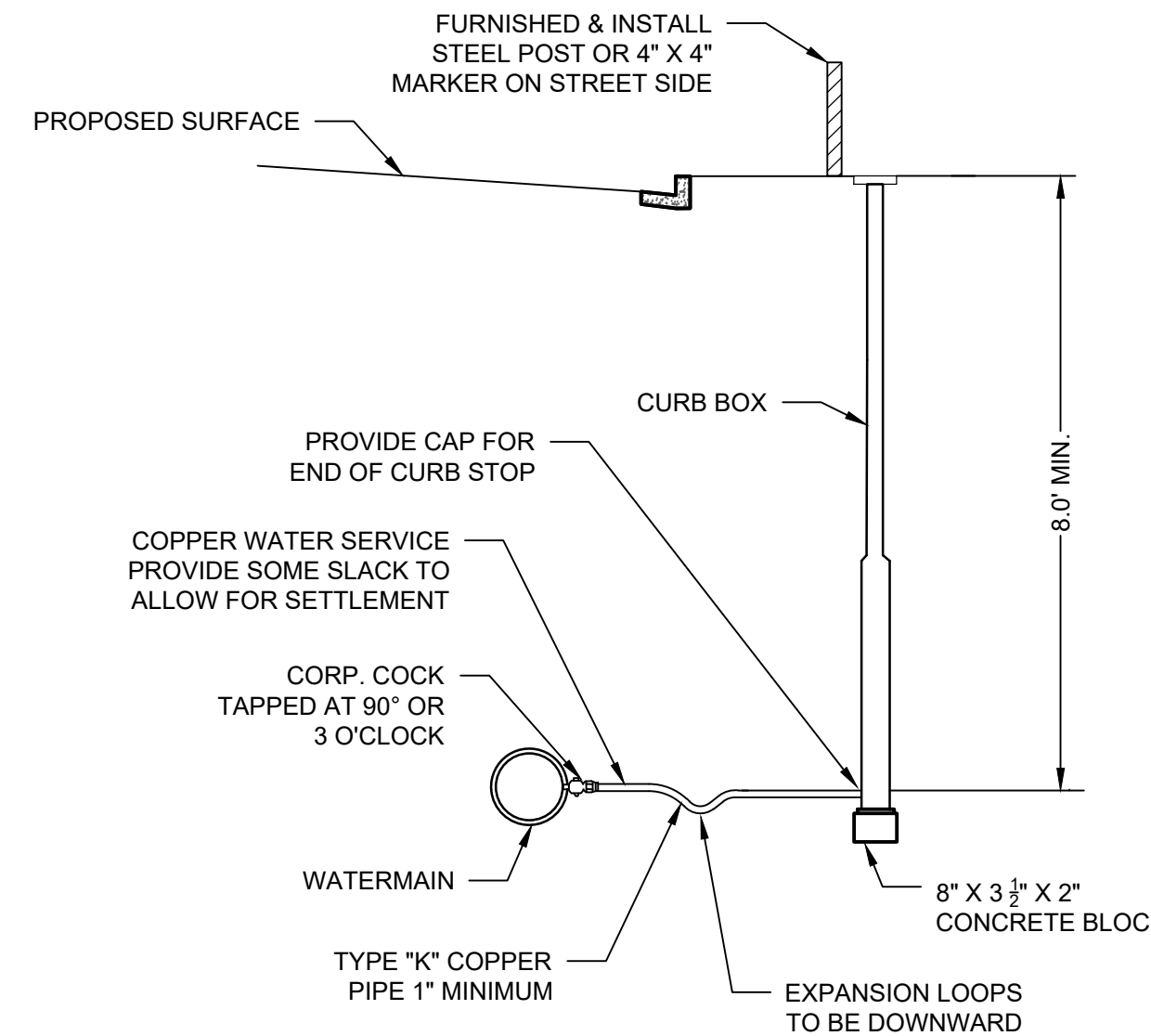
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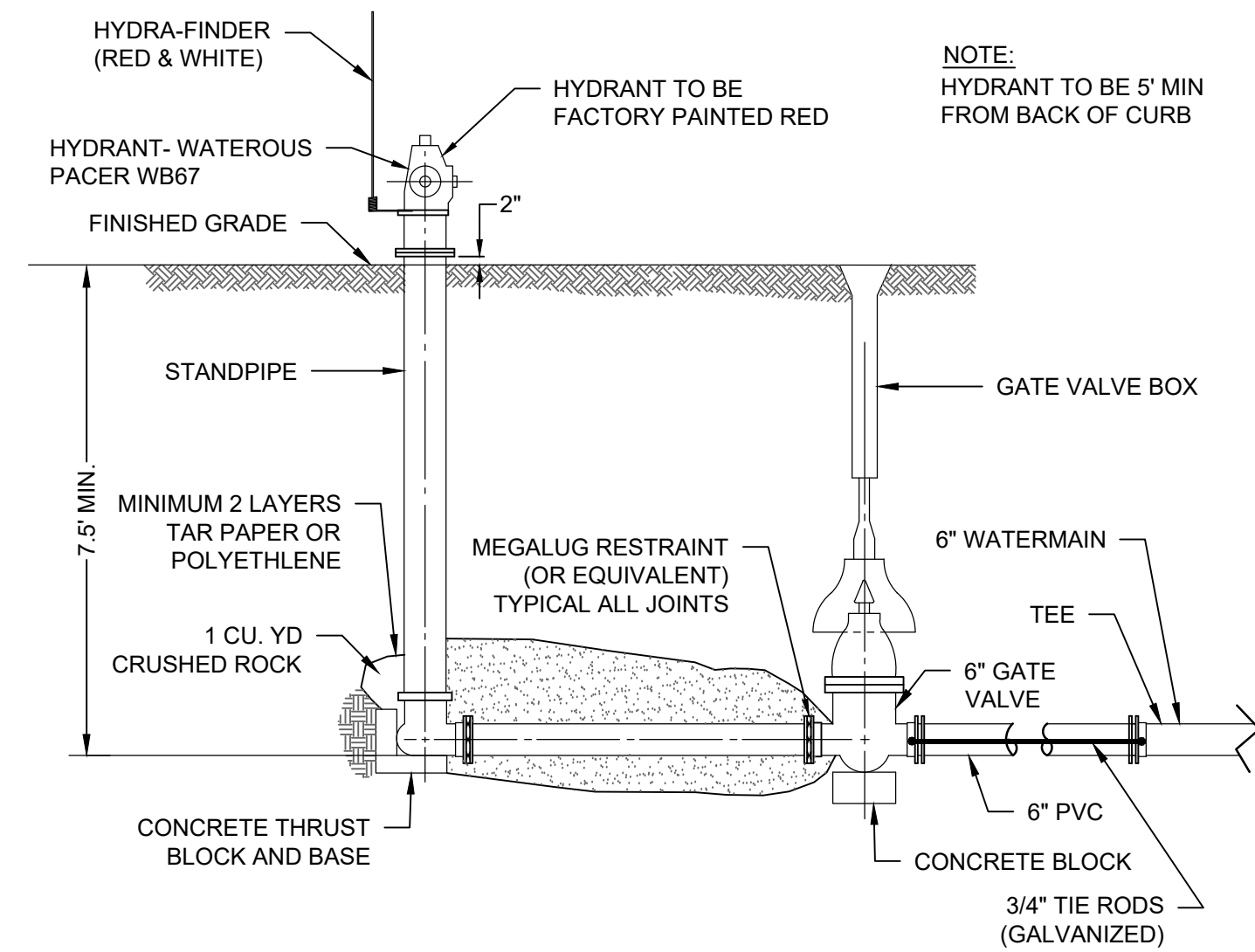
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PLOTTED: JULY 3, 2025	COMM. NO. 18344
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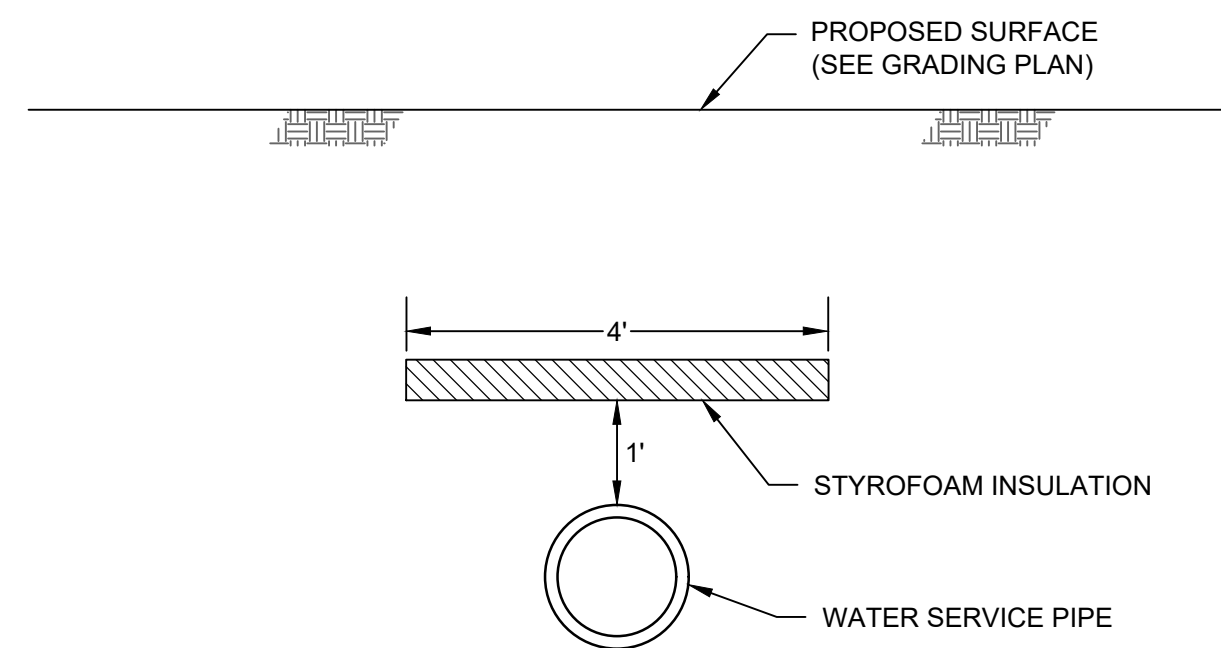
NOTE:  
CURB BOXES INSTALLED IN AREAS WHERE BOULEVARD IS TO BE CUT AT A LATER DATE SHALL BE INSTALLED AT DEPTH REQUIRED. CURB BOX EXTENSION FOR BOXES EXCEEDING 7.5' IN LENGTH ARE TO BE BID AT CONTRACT UNIT PRICE AND SHALL INCLUDE STACK COUPLINGS, CONNECTIONS, ETC.



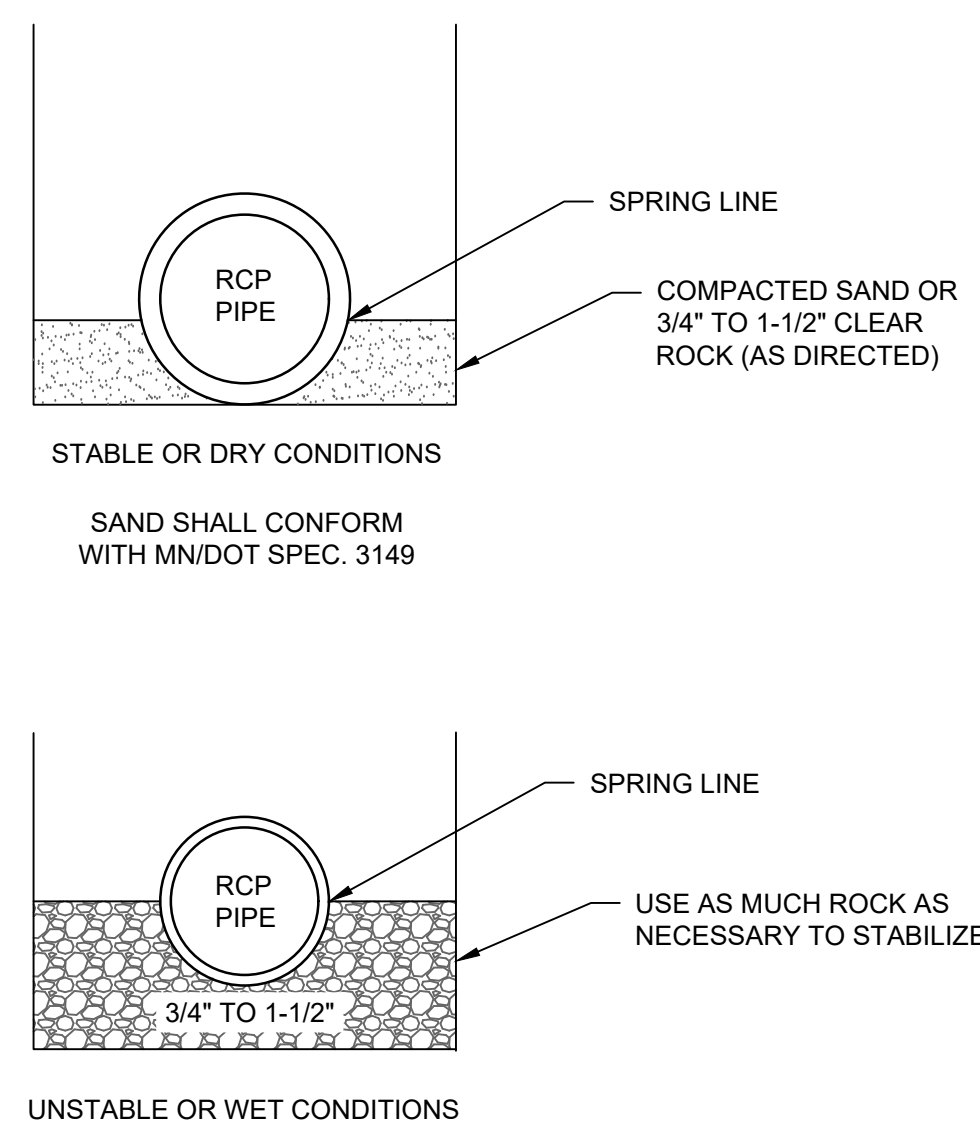
**3 TYPICAL WATER SERVICE CONNECTION**  
SCALE:NTS



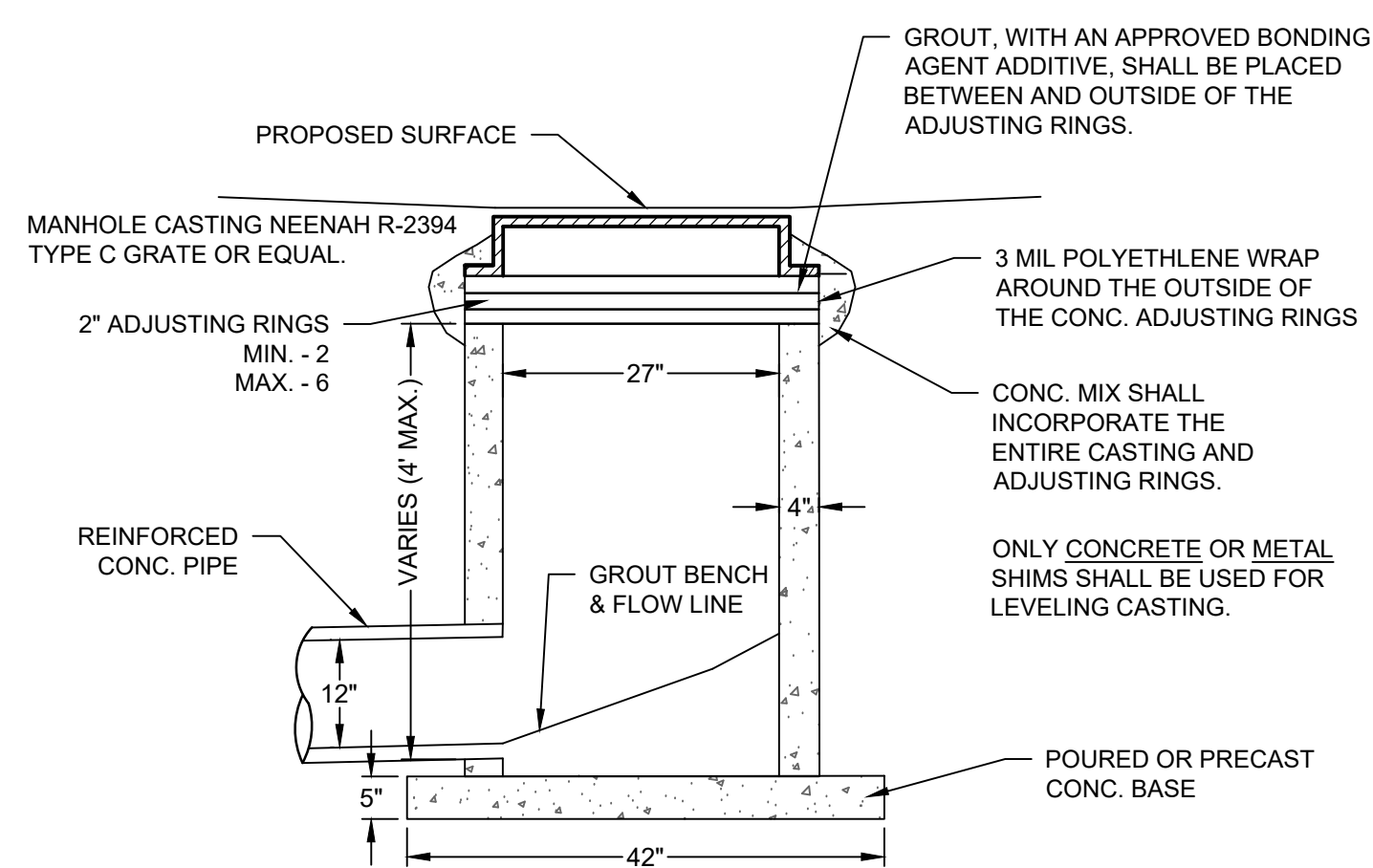
**2 HYDRANT & GATE VALVE INSTALLATION**  
SCALE:NTS



**1 WATERMAIN INSULATION**  
SCALE:NTS



**6 STORM SEWER BEDDING**  
SCALE:NOT TO SCALE



**5 STORM CATCH BASIN**  
SCALE:NOT TO SCALE

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**CITY OF COLOGNE  
CARVER COUNTY, MINNESOTA  
RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION APPROVING A PRELIMINARY PLAT FOR A DEVELOPMENT  
KNOWN AS THE VILLAGE AT COLOGONE 18<sup>TH</sup> ADDITION**

**WHEREAS**, the City of Cologne is a Minnesota Municipal Corporation, duly organized and authorized to conduct its affairs under the laws of the State of Minnesota; and

**WHEREAS**, Ron Olson (the “Developer”) is the owner of certain real property located in the City of Cologne, State of Minnesota, legally described as follows:

Outlot C, THE VILLAGE AT COLOGNE FIFTH ADDITION, Carver County,  
Minnesota

Outlot C, THE VILLAGE AT COLOGNE NINTH ADDITION, Carver County,  
Minnesota

Outlot A, THE VILLAGE AT COLOGNE SEVENTH ADDITION, Carver County,  
Minnesota

(the “Subject Property”); and

**WHEREAS**, the Developer has requested approval of a preliminary plat so as to allow the Developer to plat the property into various lots and outlots as shown on a preliminary plat for a development entitled Winkler Crossings Additions, the most recent revision of said preliminary plat updated July 3, 2025 (unless otherwise noted) was prepared by Anderson Engineering of Minnesota, LLC. and containing thirteen (13) sheets (the “Site Plans”); and

**WHEREAS**, the Planning Commission of the City did on August 6, 2025, conduct a public hearing in relation to the Developer’s request for a preliminary plat; and

**WHEREAS**, the Planning Commission of the City did on August 6, 2025 recommend approval of the preliminary plat to the City Council; and

**WHEREAS**, various issues in relation to the Subject Property remain to be resolved and such resolution must occur before final plat approval, and

**WHEREAS**, the City Council has considered the proposed application for a preliminary plat and it makes the following ***findings of fact***:

***Application***

1. The Developer submitted an application (“Application”) for an amendment to the planned unit development and a Preliminary Plat. The project proposed under the Application is a residential neighborhood, and related streets, utilities, and easements as shown on the Site Plans for development of the Subject Property and proposed to be platted as THE VILLAGE AT COLOGNE 18<sup>TH</sup> ADDIITON.
2. The Subject Property is bordered on the southeast by Silver Leaf Trail, on the southwest by single-family homes and vacant property, on the northwest by undeveloped property, and on the northeast by Village Parkway.
3. Sanitary sewer and water utilities are proposed to be constructed by the Developer and dedicated to the City. Storm sewer utilities are proposed to be constructed by the Developer and dedicated to the City.

### ***Review Process***

1. Following appropriate published and mailed notice, a public hearing was held by the Planning Commission on August 6, 2025.
2. The Planning Commission, following receipt of public comments and deliberation on the proposed Application, recommended approval of preliminary plat at their August 6, 2025 meeting.
3. These findings and resolutions are based upon the Council Memo dated [REDACTED], 2025, the City Planner Memo dated July 31, 2025, and the City Engineer Memo dated July 16, 2025, and all documents referenced in the memos and the staff report, the favorable recommendation of the City Planning Commission, and such additional information and documentation which is presented to the City Council on [REDACTED], 2025 which will be the subject of a separate list prepared by the City Planner following the [REDACTED], 2025 meeting.

### ***Comprehensive Plan***

1. The City’s current Comprehensive Plan (“2030 Comp Plan”) was adopted in 2009 pursuant to Minnesota Statutes Section 473.859 to be in conformance with the Metropolitan Council’s 2030 Regional Development Framework and the systems statements issued by the Metropolitan Council.
2. The Comp Plan guides the Subject Property as Low-Density Residential, and notes a planned park on the Subject Property
3. The proposed application is consistent with the guidance in the Comp Plan.

### ***Subject Property Zoning***

1. The property is currently zoned Planned Unit Development (PUD)
2. The proposed lots are consistent with the requirements of the PUD in terms of dimensional standards.

### ***Traffic and Street Improvements***

1. The Subject Property is primarily accessed from Village Parkway/Silver Leaf Trail.
2. The development proposed in the Application for the Subject Property did not require a Traffic Impact Analysis. Traffic added by the proposed development is nominal.

### ***Utilities***

1. At this time, sufficient wastewater capacity is available to service this development based on existing experienced per capita volume and other plant capacity limit requirements. In the event that the City experiences a change in measured performance of the existing wastewater treatment facility prior to an upgrade to the existing plant, actions may need to be taken to restrict additional connections to the sanitary sewer system until the capacity situation is upgraded.
2. The proposed extensions of water and sanitary sewer are adequate for the development proposed in the Application, subject to the comments contained in the Staff Memos.
3. Existing stormwater ponds in the area were previously constructed to accommodate the water quality requirement. Volume control requirements of the Carver County Watershed Management Organization (CCWMO) are being met through woodland preservation. A conservation easement to Carver County will be required, along with a maintenance plan for the ongoing maintenance of the woodlands. The woodlands are located on individual lots and will be signed to identify them as a preservation area. The developer will need to prepare a maintenance plan that is acceptable to the CCWMO.

**NOW, THEREFORE, BE IT RESOLVED** the preliminary plat is approved and will be effective upon completion of the following conditions:

1. The foregoing findings of fact are incorporated herein by reference.
2. Single-family homes are the permitted use on Lots 1-15, Block 1. The outlots are not buildable.
3. No lots or outlots are permitted to access directly onto Village Parkway.

4. All comments contained within the memos from the City Engineer dated July 16, 2025 and the City Planner dated July 31, 2025 are incorporated herein (collectively referred to as the “Staff Memos”).
5. The improvements to the Subject Property shall be constructed in substantial conformance with the Site Plans as revised to conform to the requirements of the Staff Memos and the conditions of this resolution.
6. If the updated Site Plans addressing the comments of the resolutions, Staff Memos, or outside agencies necessitate revisions to any of the lot lines or easements on the Subject Property, then those revisions shall be incorporated into the Final Plat submitted by the Developer. Compliance with these requirements may result in changes to or the removal of lots, outlots, easements, or right of way, in which case the Developer shall revise the Site Plans and Final Plat as necessary in conformance thereto. If an off-site easement is required to address a comment, then a separate easement document shall be provided to the City for review and approval prior to release of the Final Plat for recording. Compliance with Staff Memos and Carver County Watershed Management Organization (“CCWMO”) requirements may result in a loss of Residential Lots.
7. To the extent that there are differences or conflicts between updated Site Plans and this resolution, the terms of this resolution shall be controlling unless and until modified by a final plat resolution.
8. Grading on the Subject Property may be commenced subject to the conditions of a Grading Permit Agreement between the City and the Developer, and City staff is authorized to negotiate and execute such Grading Permit Agreement. If Developer proceeds with grading prior to the approval of (i) final plat and (ii) revised Site Plans for the Subject Property, Developer is proceeding at their own risk.
9. The Site Plans have not been approved for permitting for the CCWMO. Compliance with these requirements may result in changes to or the removal of lots, outlots, or right of way, in which case the Developer shall revise the Final Plat, as necessary.
10. The timing of the construction of the infrastructure improvements on the Subject Property will be subject to the conditions of a Developer’s Agreement between the City and the Developer.
11. A title commitment shall be provided for the review of the City Attorney with the final plat application.
12. The Developer must reimburse the City for all costs incurred by the City and its consultants in relation to review of the proposed development plans, inspection of improvements, and the preparation of the Developer’s Agreement.
13. Developer shall be responsible for securing necessary easements and for constructing utility improvements as shown on the attached plans, unless otherwise agreed to with the

City in writing. The cost of constructing utility improvements shown on the Site Plans shall be borne solely by the Developer, unless otherwise agreed to by the City and specified in the Final Plat Resolution and Development Agreement. However, to the extent that such utilities are oversized at the request of the City, the City shall reimburse the Developer for the cost of the extra diameter of the pipe. The location of such utility lines within the Subject Property shall be as designated and approved by the City Engineer.

14. Prior to the release of the Final Plat for recording, a Developer's Agreement must be entered into which Agreement(s) will include, but not be limited to, the following:
  - a. PRD details and information.
  - b. Street and utility construction details, processes, plans and financial guaranties.
  - c. Park dedication requirements.
  - d. All required approvals from other governmental agencies.
  - e. Final grading and drainage plans.
  - f. Maintenance requirements during construction.
  - g. Landscaping plans.
  - h. Financial guaranties.
  - i. Other planning and engineering items, as appropriate.
15. The Developer shall be responsible for obtaining and complying with all necessary permits from the Metropolitan Council, Minnesota Department of Health, DNR, Carver County Watershed Management Organization, PCA, MnDOT, and any other governmental agencies.
16. The Developer shall complete construction, site restoration and erosion control in accordance with all permitting agency requirements including but not limited to MPCA-NPDES, CCWMO, and City Standards.
17. The Developer may not commence construction of any improvements on the Subject Property until the City Engineer has approved both the detailed grading plan and the detailed construction plan and issued written confirmation to the City and the Developer of the approval of such plans.
18. The Developer must submit details on corrected building pads including compaction tests, limits of the pads and elevations of the excavations. The general soils report for the development must also be submitted to the City Engineer for review and approval prior to the issuance of building permits.
19. Map updating fees shall be paid prior to the release of the final plat for recording. Fees shall be paid by the Developer for each lot and outlot contained within the Subject Property as per the City fee schedule in effect at the time of the execution of the Developer's Agreement for each phase of final plat recorded. The Developer shall submit the plat, construction, and as-built plans in the electronic format required by the City Engineer.

20. Park dedication requirements shall be calculated at the time of recording of the final plat, and may include credits against any payment-in-lieu of park dedication if such credits exist from previous phases of The Village at Cologne.
21. A trail is required along the western side of Village Parkway adjacent to the lots in the plat. Paving of said trail may be deferred by the City Council to a future phase of development of the outlots on the plat if agreed to within a Development Agreement. The Final plat and plans shall show proposed grading and future construction of the trail. Installation of landscaping along the berm and Village Parkway shall be completed with this phase of development.
22. The CCWMO is requiring a conservation easement and maintenance plan for the woodland preservation. With final plat submission, provide a draft maintenance plan and conservation easement for review. Identify the entity(ies) that will be maintaining the conservation easement area.
23. Civil defense siren fees shall be paid prior to the release of the final plat for recording as per the City fee schedule in effect at the time of execution of the Developer's Agreement.
24. A streetlight shall be installed at the intersection of Silver Leaf Trail and Cobblestone Drive by the developer and lights selected shall be consistent with those in The Village of Cologne. Streetlights will be maintained by the City if they are done in accordance with the provisions of the street light maintenance plan that the City has in effect.
25. The Developer shall be responsible for storm sewer cleaning and holding pond dredging, as required, by the City prior to completion of the development of the Subject Property.
26. Each residence constructed within any lot within the Subject Property shall have drain lines and sumps which must include an operable sump pump which shall be hard plumbed to the exterior, discharging through a drain tile to either a stormwater pond or to a tile connection in the right-of-way. Any deviation from this requirement must receive written prior approval of the City Engineer. These improvements must be constructed by the Developer or, if the Developer sells any lot to any builder, the Developer's purchase agreement with such builder must obligate the builder to construct the drain tiles, sump, and install the sump pump in the manner set forth herein.
27. In relation to landscaping, the Developer shall cause the following to occur:
  - A. Until sod is installed as required herein, the Developer shall provide for silt fences (as an erosion control measure) to be installed within ten (10) days after small utilities are installed in the boulevard.
  - B. At the time each single-family residence is constructed, sod shall be installed from the curb back to the rear lot line. The sod must be installed within sixty (6) days of the issuance of a Certificate of Occupancy, unless the Certificate of

Occupancy is granted after September 15<sup>th</sup> in a given year in which case the sod must be installed by July 15<sup>th</sup> of the following year.

- C. To the extent sidewalks are required in a given phase, the sidewalk must be constructed at the same time the streets are constructed. Sod shall be placed between the curb and sidewalk and for two (2) feet on the house side of the sidewalk within thirty (30) days after the issuance of a Certificate of Occupancy, unless a certificate of occupancy is granted after September 15<sup>th</sup> in a given year, in which case the sod must be installed by June 15<sup>th</sup> of the following year.
- D. Sod from the curb to four (4) feet away from the curb line shall be installed within thirty (30) days after the issuance of a certificate of occupancy, unless a certificate of occupancy is granted after September 15<sup>th</sup> in a given year, in which case the sod must be installed by June 15<sup>th</sup> of the following year.
- E. Submit a landscape plan for review and approval with the application for final plat that is consistent with the requirements of the Planned Unit Development for The Village at Cologne.

The obligations of the Developer to install landscaping, sod and trees are the sole responsibility of the Developer and are not releagable to the homeowner.

- 28. The Developer shall pay for the production and installation of all required City street signs.
- 29. The City projects that sufficient wastewater capacity is available to service this development based on existing experienced per capita volume and other plant capacity limit requirements. In the event that the City experiences a change in measured performance of the existing wastewater treatment facility prior to an upgrade to the existing plant, building permits may cease to be issued until the capacity situation is upgraded.
- 30. The approval of the preliminary plat shall terminate if either a final plat has not been approved or a Developer's Agreement has not been entered into between the City and Developer in the timeframe as required by the Subdivision Ordinance.
- 30. Additional conditions as determined necessary by the City Planner, City Engineer, and City Attorney as review of the project progresses and is completed.

Adopted and approved by the City Council of the City of Cologne on a vote of \_\_\_\_ ayes and \_\_\_\_ nays effective on the [redacted] day of August, 2025.

Approved:

\_\_\_\_\_  
Matt Lein  
Mayor

Attested:

\_\_\_\_\_  
Michelle Morrison  
City Clerk

M/\_\_\_\_\_

Lein\_\_\_\_\_

Szaroletta\_\_\_\_\_

Kells\_\_\_\_\_

S/\_\_\_\_\_

Bruss\_\_\_\_\_

Lenzen\_\_\_\_\_

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July 31, 2025