

- a. Change of use of the site from mini-storage storage to a different use.
 - b. Expansion or intensification of the mini-storage or accessory outdoor storage on site.
4. All funds owed to the City for the processing of this application shall be paid in full prior to the issuance of a building permit.
5. The variance shall expire if these conditions are not met and a building permit application is not received for the property by July 21, 2026.

Date: July 21, 2025

Approved:

Bernie Shambour
Chair

Attested:

Michelle Morrison
City Clerk

Exhibit A
Legal Description

LEGAL DESCRIPTION

EXHIBIT A

The Land is described as follows:

Parcel 1

A part of the former Chicago, Milwaukee, St. Paul and Pacific Railroad Company's depot grounds located in the Southeast Quarter of the Northwest Quarter of Section 13, Township 115, Range 25, Town of Cologne, more particularly described as follows: Beginning at the point of intersection of east line of said Northwest Quarter of Section 13 and the southerly line of said depot grounds, said point being 715.5 Northerly of the center of said section as measured along the north/south centerline of said section; thence Southwesterly along said Southerly depot ground line 173 feet; thence Northwesterly perpendicular to said last described line 155 feet to a point 37 feet distant Southeasterly as measured perpendicular to centerline of the Soo Line Railroad Company's main track; thence Northeasterly along a line parallel to and 37 feet distant southeasterly from said main track centerline to a point in the east line of the aforementioned Northwest Quarter of Section 13; thence Southerly along said east line to the point of beginning.

Parcel ID# 40.0134600

AND

Parcels 2 & 3

Commencing at a point on the east line of the Southeast Quarter of the Northwest Quarter of Section 13, Township 115, Range 25 where the south line of the right of way of the Chicago, Milwaukee, and St. Paul and Pacific Railroad intersects said east line; thence South along said east line a distance of approximately 75.5 feet; thence Northeasterly at an angle of North 76 degrees 30 minutes East and distance 75.5 feet from south line said Railway to a point intersecting with south line of said Railway; thence North and Westerly along south line of said Railroad right of way to point 525.0 feet distant from point of beginning; thence Southwesterly along south line of said Railroad right of way distance 525.0 feet to place of beginning.

AND

A part of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right of way located in the Southwest Quarter of the Northeast Quarter in Section 13, Township 115, Range 25, described as follows: Beginning at the point of intersection of the west line of the Southwest Quarter of the Northeast Quarter of said Section 13 with the southeasterly line of said right of way; thence Northeasterly along the southeasterly line of said right of way, a distance of 525.0 feet; thence Northerly along a line which is parallel with the west line of the Southwest Quarter of the Northeast Quarter of said Section 13, a distance of 105 feet, more or less, to a point on a line which is 37 feet Southeasterly of as measured at right angles to and parallel with the centerline of the most Southerly main tract (East Bound Main) of the Soo Line Railroad Company; thence Southwesterly along a line 37 feet Southeasterly of and parallel with the centerline of said main tract a distance of 525 feet, more or less, to a point on the west line of the Southwest Quarter of the Northeast Quarter of said Section 13; thence Southerly along the west line of the Southwest Quarter of the Northeast Quarter of Section 13 a distance of 105 feet, more or less, to the point of beginning.

Parcel ID# 40.0132400

Parcel ID# 40.0135100

This property is all located in Carver County, State of MN

June 13, 2025

City of Cologne Variance Request

The Locked Loon Storage Expansion project is seeking a variance request for two items within the City of Cologne Zoning Ordinances. Below is information regarding the City Code and our reasoning why the request should be granted.

§ 153.012 DRIVEWAY AND PARKING LOT IMPROVEMENTS

“All required ingress/egress points, driveways and parking areas shall be paved with bituminous or concrete surfaces, according to minimum city specifications, in all new residential developments and all new or modified commercial and industrial uses.”

REASONING

The proposed development plans to leave a vast majority of the site undisturbed. Currently, the site functions properly in regard to drainage and access. The bituminous requirement will cause unnecessary hardship due to the potential drainage issues and financial burden. The topography of the site is very flat and containers/storage buildings surround the gravel area. Water is currently able to slowly sheet drain south around the structures to the ditch and seep through the gravel into the soil below. Bituminous would completely restrict the flow of water into the ground potentially causing standing water due to the sites existing topography. It would also increase the rate at which water flows toward the existing south containers/building potentially causing additional areas for concern. Apart from the potential drainage issues, the cost to pave the entire site with bituminous is high enough where it would make the project unviable from a financial standpoint. Additionally, Locked Loon Storage does not own the entire driveway too the site. The western parcel where the driveway access is would not be able to be paved regardless. If the paving requirement was enforced, it would be a gravel driveway for nearly 175' until it crosses into the Locked Loon Storage property.

§ 153.043 DIMENSIONAL STANDARDS

“C-3 Zoning requires a 30-foot side yard setback.”

REASONING

The site is within the Downtown Overlay District which allows flexibility in regard to site requirements such as setbacks, impervious cover, etc. due to the highly variable and inconsistent dimensions of these lots. This district states that lots in existence prior to September 1, 2000 shall meet the dimensional standards of the C-2 District. However, the lot was annexed into the City in 2012, and it is unclear whether the C-2 dimensions apply. The lot was in existence prior to September 1, 2000 it simply was not part of the City. The 30-foot setback on the southern lot line creates hardship for the site because it would even further hinder the available space left to develop due to the railroad on the north. Additionally, the proposed building is set back further from the southern property line than the existing building and storage containers.

SUMMARY

We are requesting this variance due to the unnecessary hardships that the strict interpretation of the zoning code will cause. We are hopeful that the paving requirement can be waived due to the financial burden it will cause the property owner and potential drainage issues that may arise. This section of the code seems to hinder small business owners from expanding, and we hope you can see the proposed site features will be an overall improvement to the lot and City. We are also hopeful that you can waive the 30-foot side yard setback requirement and take into account the lots peculiar shape, developable area constraints, and existing building setbacks. The entire southern lot line is heavily forested and additional trees are proposed to be planted to create a vegetated buffer along this property line.

May 07, 2025

Locked Loon Storage Expansion – Project Narrative

Project Team

The project team consists of Blew Inc. as the surveyor, Excavate & Elevate Engineering for civil engineering design, KO Construction as the storage facility designer, and Locked Loon Storage as the developer.

Locked Loon Storage is a locally owned, small business operation that aims to provide secure, quality, and reasonably-priced storage options for residents of Cologne and neighboring areas. The facility is owned and operated by Nick Anderson, a local, solo entrepreneur, who finds deep purpose in running his small business to the highest of standards. Currently, there are approximately 60-70 tenants of the existing facility. The facility is 100% full, and ownership often has to turn down local residents with requests for storage. With new housing developments in Cologne often having HOA's that prohibit Boat/RV parking, Locked Loon Storage offers outdoor storage options for these community members. The plans proposed encompass the entirety of any future expansion or future business plans for this location.

Project Summary

Locked Loon Storage and the design team are excited to present the enclosed site plan review application to the City of Cologne for review and approval. The project team is proposing three new self-storage buildings and altered gravel circulation roads. Also included with the project is the reduction of impervious surfaces through their replacement with vegetated areas and light pole alterations/relocations. The project is located in the City of Cologne northeast of the intersection of Paul Ave. S and Mill St. E.

Currently, the property consists of two storage buildings, gravel outdoor storage yards and access roads, light poles, and storage containers. The project team feels the additional storage units will blend in with the existing facilities and create a cohesive self-storage commercial property. It is intended to maintain existing building setbacks and maintain vegetated buffers between property lines.

The project will benefit the City of Cologne and surrounding communities by increasing the capacity of users Locked Loon Storage can provide services for. It will also benefit the City/Watershed by reducing the amount of impervious on site by over 10% providing benefits to stormwater runoff and downstream receiving waters

Cindy Nash
City Planner
City of Cologne

Dear Ms. Nash and the Planning Commission,

Firstly, I'd like to extend my apologies for not being able to be in-person again this month. My family has had a 4th of July vacation booked for many months, and I'm not able to switch around my plans. Regardless of the outcome of this meeting, I'd like to be present for the August meeting to introduce myself and my excitement for the small business we are working to build in Cologne.

Thank you for being receptive to Austen and I's request for variance for this project. We're doing everything we can to design and build a clean, safe, and maintained facility for the community members to utilize. Some of the existing code is entirely cost prohibitive to our ability to complete the project, so I am asking for your consideration in our variance request.

Thank you again for your diligence, and the time spent on this project. I am confident it will be a successful addition to the community.

Sincerely,
Nick Anderson

612-759-0982



Carver County Water Management Organization

Planning and Water Mgmt Dept
Government Center - Administration Building
600 East 4th Street
Chaska, Minnesota 55318
Phone: (952)361-1820
Fax: (952)361-1828
www.co.carver.mn.us/water

Memo

To: Nick Anderson, Lindsey Self Storage Group
Austen Adam, Excavate and Elevate Engineering
From: Abigail Ernst, Carver County Water Management
Date: June 17, 2025
Re: Locked Loon Storage- CCWMO Approval
File: WP20250027

cc: Cynthia Nash, City of Cologne
Tim Sundby, CCWMO
Tom Genelin, Carver SWCD

Enclosures: none

Carver County Water Management Organization received an application submittal for water rules compliance for the Locked Loon Storage expansion project located in the 180 Adamas Ave S, Cologne on May 7, 2025. Additional information was submitted to the CCWMO on May 22 and June 17, 2025. This letter is to inform you that Carver County Water Management is pleased to give **approval** for the project. This permit is valid until December 17, 2026 (18 months from the date of this letter). If the authorized work does not commence within the above time period, or the project specifications have changed, our office must be contacted to determine the need for further approval or re-verification.

General Permit Information

- 1. Overall project description.** The project proposes to reconstruct impervious areas at an existing business known as Locked Loon Storage. It includes the addition of three new storage buildings and associated pavements. The existing site has 1.2ac of impervious area and the proposed site will have 1.08ac of impervious, which is a 10% reduction, thus exempting the site from stormwater treatment. The total proposed removal is 5,451sf. See below for proposed pervious area creation.

Carver County Topsoil Standard

Parameter	Carver County Topsoil Standard
Sand	30-75%
Silt	5-35%
Clay	5-33%
OM	2.5-15%
pH	6.1-8.0

6. **Satisfactory compliance inspection.** Upon completion of the project, the WMO will conduct an inspection of the site to ensure that the site has been stabilized (90% vegetation coverage rate for all areas and 100% vegetation coverage rate in areas of concentrated flows), all erosion and sediment control measures have been removed, and that topsoil restoration has occurred. Requirements for the compliance inspection shall be updated in the overall stormwater approval.
7. **Invoice.** Applicants must reimburse the County for engineering costs incurred during application review and final inspections beyond the initial permit fee. Review costs are dependent upon the size of the project, the complexity of the project, the number of plan revisions and resubmittals. Invoice will be sent at a later date.
8. **Return of financial security.** The responsible party has provided \$1,500 as financial security for the performance of the authorized work. The security shall be released after the following conditions are met:
 - a. Grading is complete
 - b. The site has been re-vegetated (90% vegetative cover across the site, 100% vegetative cover with no signs of erosion in areas of concentrated flows)
 - c. All erosion and sediment measures have been removed
 - d. The proposed impervious area removals have been completed and match what was proposed.
 - e. Topsoil placement has been verified
 - f. If there has been sediment discharge offsite or to a surface water, it has been removed and the area restored
 - g. Record drawings have been submitted to and approved by the WMO.
 - h. All engineering fees have been paid

Responsible Party Authorization & Signatures

I hereby certify that I understand that this project must be conducted in accordance with the permit application, the approved plans, this permit approval, and any attached or subsequent agreements, and the Water Management Rules. I further certify that I am aware that failure to

abide by the provisions of the permit approval and/or the Water Management Rules is cause for action by the County including action against financial guarantees.

I hereby authorize the County of Carver, and its agents, employees, and contractors to enter upon the property subject to this permit approval to perform any inspections or work authorized by the permit or any applicable law.

Name:

Organization:

Signature: _____

Date: _____

PROJECT CONTACTS

OWNER/DEVELOPER	CIVIL ENGINEER
ODAT HOLDINGS, LLC	EXCAVATE & ELEVATE ENGINEERING
5904 OAKLAWN AVENUE,	6700 OLIVE COURT N.
EDINA, MN 55424	MAPLE GROVE, MN 55311
CONTACT: NICK ANDERSON	CONTACT: AUSTEN ADAM
EMAIL: NRAEAT96@GMAIL.COM	EMAIL: AUSTEN@EXCAVATEANDELEVATEENG.COM
PHONE: 612-759-0982	PHONE: 763-245-4233

SURVEYOR
BLEW & ASSOCIATES, P.A.
3825 N. SHILOH DR,
FAYETTVILLE, AR 72703
CONTACT: EMILY NORTHCUTT
EMAIL: EMILY@BLEWINC.COM
PHONE: 972-268-5779

CIVIL ENGINEER
EXCAVATE & ELEVATE ENGINEERING
6700 OLIVE COURT N,
MAPLE GROVE, MN 55311
CONTACT: AUSTEN ADAM
EMAIL: AUSTEN@EXCAVATEANDELEVATEENG.COM
PHONE: 763-245-4233

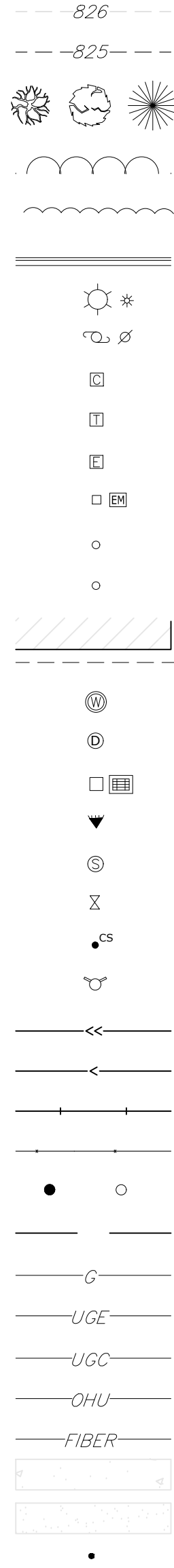
LOCKED LOON STORAGE EXPANSION

180 ADAMS AVE S,
COLOGNE, MN 55322

TYPICAL ABBREVIATIONS

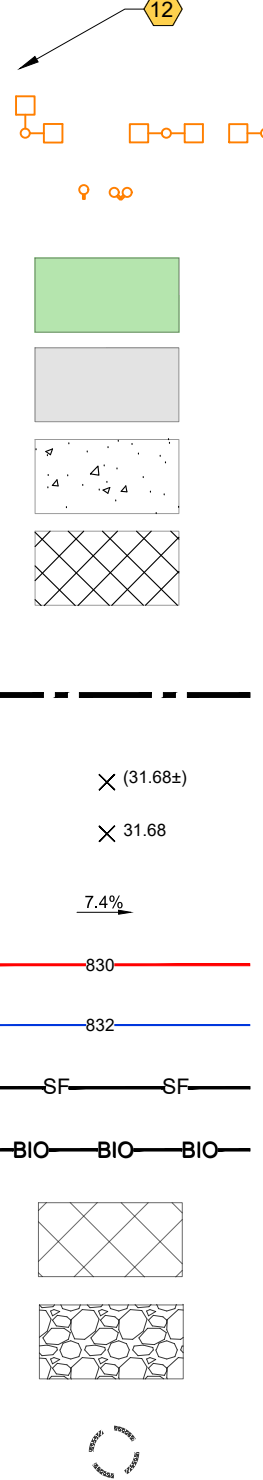
PA	PER PLAN
AC	AIR CONDITIONER
APL	APPLE TREE
ARB	ARBORVITAE
BAS	BASSWOOD TREE
BBH	BASKETBALL HOOP
BE	BUILDING ENTRANCE
BLCH	BLACK CHERRY TREE
BOX	BOXELDER TREE
BUT	BUTTERNUT TREE
CB	CATCH BASIN
CBOX	CONTROL BOX
CED	CEDAR TREE
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
COL	BUILDING COLUMN
COT	COTTONWOOD TREE
CRAB	CRABAPPLE TREE
CS	CURB STOP
CWT	CONCRETE WALL TOP ELEVATION
DB	DECORATIVE BRICK PAVERS
DG	DRAIN GRATE
DIP	DUCTILE IRON PIPE
DOG	DOGWOOD TREE
EM	ELECTRIC METER
EMG	EDGE OF MOWED GRASS
G	GUTTER ELEVATION
GAS	GAS LINE
GM	GAS METER
GP	GUARD POST
GW	GUY WIRE
HACK	HACKBERRY TREE
HYD	FIRE HYDRANT
INV	STRUCTURE INVERT
JNP	JUNIPER TREE
KWB	KEYSTONE WALL BOTTOM ELEVATION
KWT	KEYSTONE WALL TOP ELEVATION
LA	LANDSCAPED AREA
LOC	LOCUST TREE
LP	LIGHT POLE
MOWELL	MONITORING WELL
MPL	MAPLE TREE
MTASH	MOUNTAIN ASH TREE
OHC	OVERHEAD COMMUNICATION LINE
OHE	OVERHEAD ELECTRIC LINE
OHU	OVERHEAD UTILITY LINE
OVH	ROOF OVERHANG
PIN	PINE TREE
PINJ	JACK PINE TREE
PINR	RED PINE TREE
PINW	WHITE PINE TREE
PP	POWER POLE
PPLP	POWER AND LIGHT POLE
PVC	PLASTIC PIPE
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
SAN	SANITARY MANHOLE
SAN S	SANITARY SEWER
SHB	SHRUB
SHM	STORM MANHOLE
SPCB	COLORADO BLUE SPRUCE TREE
SPCG	COLORADO GREEN SPRUCE TREE
SPG	WATER SPOUT
ST S	STORM SEWER
STA	SURVEY CONTROL STATION
SWT	STONE WALL TOP ELEVATION
TC	TOP OF CONCRETE CURB ELEVATION
TCS	TRAFFIC CONTROL SIGN
TRANS	ELECTRIC TRANSFORMER
TRE	DECIDUOUS TREE
UGC	UNDERGROUND COMMUNICATION LINE
UGE	UNDERGROUND ELECTRIC LINE
UGT	UNDERGROUND TELEPHONE LINE
VCP	VITRIFIED CLAY PIPE
WMH	WATER MANHOLE
WW	WINDOW WELL
WWT	WOOD WALL TOP ELEVATION

EXISTING SYMBOLS



MINOR CONTOUR
MAJOR CONTOUR
TREE
TREE LINE
REVISION EXTENTS
CURB
LIGHT/ LIGHT POLE
POWER POLE
CABLE BOX
TELEPHONE BOX
ELECTRIC BOX
GAS METER
ROOF DRAIN
SPIGOT
BUILDING
OVERHANG
WELL
STORM MANHOLE
STORM CATCH BASIN
FLARED END SECTION
SANITARY SEWER MANHOLE
GATE VALVE
CURB STOP
FIRE HYDRANT
STORM SEWER
SANITARY SEWER
WATER PIPE
FENCE
SURVEY MONUMENT
EASEMENT
UNDERGROUND GAS
UNDERGROUND ELECTRIC
UNDERGROUND CABLE
OVERHEAD UTILITY
UNDERGROUND FIBER
CONCRETE
GRAVEL
BOLLARD

PROPOSED SYMBOLS



KEYNOTE/DETAIL REFERENCE

LIGHT (POLE MOUNTED)

LIGHT (BUILDING MOUNTED)

PERVIOUS SURFACE

BITUMINOUS

CONCRETE

PAVEMENT SECTION BY OTHERS

CONSTRUCTION LIMITS

EXISTING GROUND SPOT ELEVATION

PROPOSED GROUND SPOT ELEVATION

PROPOSED SLOPE

PROPOSED MAJOR CONTOUR

PROPOSED MINOR CONTOUR

SILT FENCE

BIO-ROLL

EROSION CONTROL BLANKET

CONSTRUCTION ENTRANCE

INLET PROTECTION

SWALE

STORM SEWER

STORM SEWER DRAIN TILE

SANITARY SEWER

WATER

FENCE

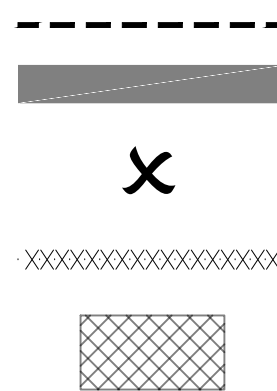
OVERHEAD ELECTRIC

UNDERGROUND ELECTRIC

UNDERGROUND GAS

UNDERGROUND CABLE

REMOVAL SYMBOLS



SAWCUT LINE
WALL/UTILITY REMOVAL
TREE REMOVAL
CURB REMOVAL
PAVEMENT REMOVAL

ISSUE/REVISION MATRIX

The sheets indicated below beginning with a "C" were developed and prepared by Excavate & Elevate Engineering.

SHEET	ISSUE DATE										
		05/07/2025	05/22/2025	06/13/2025							
C0.1 - TITLE SHEET	✓	✓	✓								
EXISTING CONDITIONS SURVEY	✓	✓	✓								
C0.2 - NOTES	✓	✓	✓								
C2.0 - DEMOLITION PLAN	✓	✓	✓								
C3.0 - SITE PLAN	✓	✓	✓								
C4.0 - GRADING, EROSION CONTROL, & PAVING PLAN	✓	✓	✓								
C4.1 - FINAL STABILIZATION PLAN	✓	✓	✓								
C5.0 - SWPPP NOTES	✓	✓	✓								
C7.0 - PHOTOMETRICS	✓	✓	✓								
C10.0 - CONSTRUCTION DETAILS	✓	✓	✓								

PROJECT LOCATION



GOVERNING SPECIFICATIONS

1. CITY ENGINEER'S ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS (2018).
2. MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION (2020 EDITION)
3. MN PLUMBING CODE (2020)
4. CITY OF COLOGNE SPECIFICATIONS FOR CONSTRUCTION

PROJECT NAME

LOCKED LOON STORAGE EXPANSION

COLOGNE, MN

CLIENT / DEVELOPER

ODAT HOLDINGS, LLC

5904 OAKLAWN AVENUE,
EDINA, MN 55424
612-759-0982

CITY / COUNTY



ISSUANCES & REVISIONS

ISSUANCE	DATE
CITY/WATERSHED SUBMITTAL	05/07/2025
WATERSHED RESUBMITTAL	05/22/2025
CITY/WATERSHED RESUBMITTAL	06/13/2025

CERTIFICATION

PRELIMINARY
(NOT FOR
CONSTRUCTION)

CITY/WATERSHED
RESUBMITTAL
06/13/2025



EXCAVATE & ELEVATE
ENGINEERING

PHONE: 763-245-4233
WEB: ExcavateAndElevateEng.com
CONTACT: Austen Adam
PROJECT NUMBER: 25003

TITLE SHEET

C0.1

SITE INFORMATION

NF: ODAT HOLDINGS LLC
180 & 200 ADAMS AVENUE
SOUTH COLOGNE, MINNESOTA 55322
APN: 40.0134600, 40.0132400, & 40.0135100

PARCEL PER DOCUMENT NUMBER: A778668:
29,784 ± SQUARE FEET, OR 0.684 ± ACRES

FIRST DESCRIBED DOCUMENT NUMBER: A778669:
43,008 ± SQUARE FEET, OR 0.987 ± ACRES

SECOND DESCRIBED DOCUMENT NUMBER: A778669:
82,988 ± SQUARE FEET, OR 1.216 ± ACRES

TOTAL AREA:
125,781 ± SQUARE FEET, OR 2.888 ± ACRES

REFERENCE DOCUMENTS

- DOCUMENT NUMBER: A778668
- DOCUMENT NUMBER: A778669
- DOCUMENT NUMBER: A780795

PARKING INFORMATION

NO STRIPED PARKING OBSERVED AT THE TIME OF SURVEY.

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 27019C0194D, WHICH BEARS AN EFFECTIVE DATE OF 12/21/2018 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

ZONE "X" - AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE "X" IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS BASED ON CARVER COUNTY COORDINATE SYSTEM.

SIGNIFICANT OBSERVATIONS

- A - WALL APPEARS TO CROSS OVER THE WEST PROPERTY LINE BY AS MUCH AS 0.8'
- B - WALL APPEARS TO CROSS OVER THE SOUTH PROPERTY LINE BY AS MUCH AS 1.0'

UTILITY INFORMATION

THE UTILITIES SHOWN ON THIS DRAWING HEREON HAVE BEEN LOCATED BY FIELD MEASUREMENTS, UTILITY MAP DRAWINGS, AND MINNESOTA 811 DIG UTILITY LOCATE REQUEST. BLEW AND ASSOCIATES MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ANY AND ALL UTILITIES PRIOR TO CONSTRUCTION. CALL MINNESOTA ONE-CALL AT 811 OR (800) 252-1166 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES BEFORE DIGGING. TICKET NUMBER: 250771333

COMPANY:
JAGUAR COMMUNICATIONS
COMCAST
CITY OF COLOGNE
CENTURYLINK - CTLQL
NUVERA
NCI
METRO FIBERNET, LLC
CENTER POINT ENERGY
MINDOT
NUVERA
XCEL ENERGY

CONTACT:
(507)219-8081
(317)516-2312
(612)723-3688
(877)366-8344
(763)682-3514
(800)624-9875
(507)219-8081
(612)321-5200
(651)366-5750
(763)682-3514
(888)968-9235

LEGEND & SYMBOLS

- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED
- ⊕ COMPUTED POINT
- ⊕ FIRE HYDRANT
- ⊕ LIGHT
- ⊕ GUY ANCHOR
- BOLLARD
- ⊕ POWER POLE
- ⊕ ELECTRIC METER
- ⊕ WATER VALVE
- ⊕ GRATED INLET (GI)
- ⊕ OVERHANG
- ⊕ BACK OF CURB
- ⊕ FLOW LINE
- ⊕ BOTTOM OF BANK
- ⊕ TOP OF BANK
- ⊕ EDGE OF GRAVEL
- ⊕ TOP OF GRAVEL
- ⊕ EDGE OF CONCRETE
- ⊕ CROWN OF ROAD
- ⊕ NATURAL GROUND
- ⊕ EDGE OF WATER
- ⊕ PROPANE TANK
- ⊕ POLYVINYL CHLORIDE PIPE
- ⊕ VITRIFIED CLAY PIPE
- ⊕ REINFORCED CONCRETE PIPE
- ⊕ CORRUGATED METAL PIPE
- ⊕ MEASURED/CALCULATED DIMENSION
- ⊕ RECORD DIMENSION PER DOCUMENT NUMBER: A778668
- ⊕ RECORD DIMENSION PER DOCUMENT NUMBER: A778669
- ⊕ NOW OR FORMERLY
- ⊕ BUILDING HEIGHT LOCATION
- ⊕ FINISHED FLOOR ELEVATION
- ⊕ POINT OF COMMENCEMENT
- ⊕ POINT OF BEGINNING
- ⊕ BOUNDARY LINE
- ⊕ MAJOR CONTOUR LINE
- ⊕ MINOR CONTOUR LINE
- ⊕ RIGHT-OF-WAY LINE
- ⊕ CENTERLINE
- ⊕ FENCE LINE
- ⊕ OVERHEAD POWER LINE
- ⊕ UNDERGROUND SANITARY SEWER LINE
- ⊕ UNDERGROUND STORM DRAIN LINE
- ⊕ EDGE OF WATER
- ⊕ DRIP LINE
- ⊕ RAILROAD
- ⊕ WALL

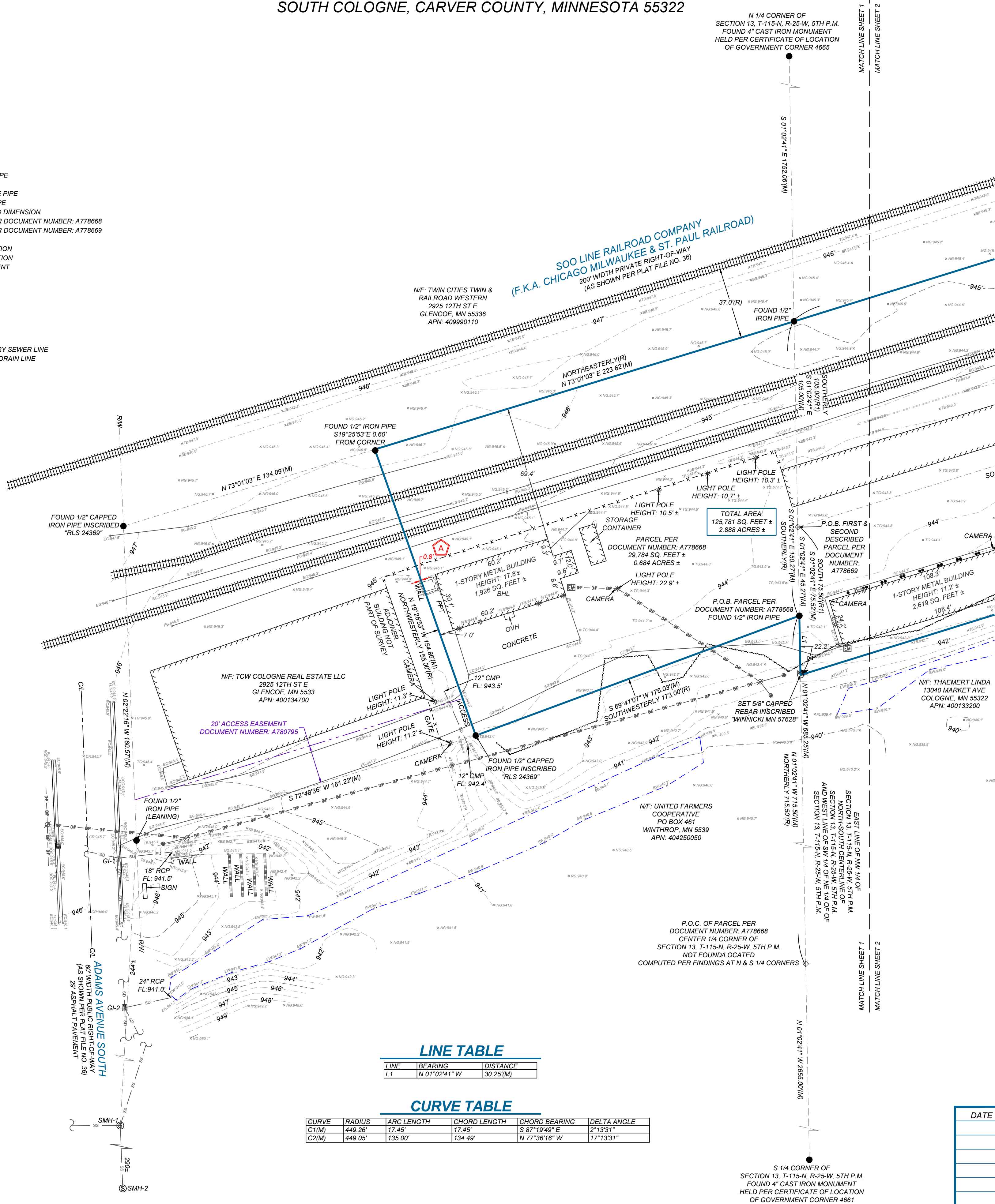
BOUNDARY/TOPOGRAPHIC SURVEY

180 & 200 ADAMS AVENUE

LOCATED IN: SECTION 13, TOWNSHIP 115 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN

SOUTH COLOGNE, CARVER COUNTY, MINNESOTA 55322

SECTION 13, T-115-N, R-25-W, 5TH P.M.
FOUND 4" CAST IRON MONUMENT
HELD PER CERTIFICATE OF LOCATION
OF GOVERNMENT CORNER 4665

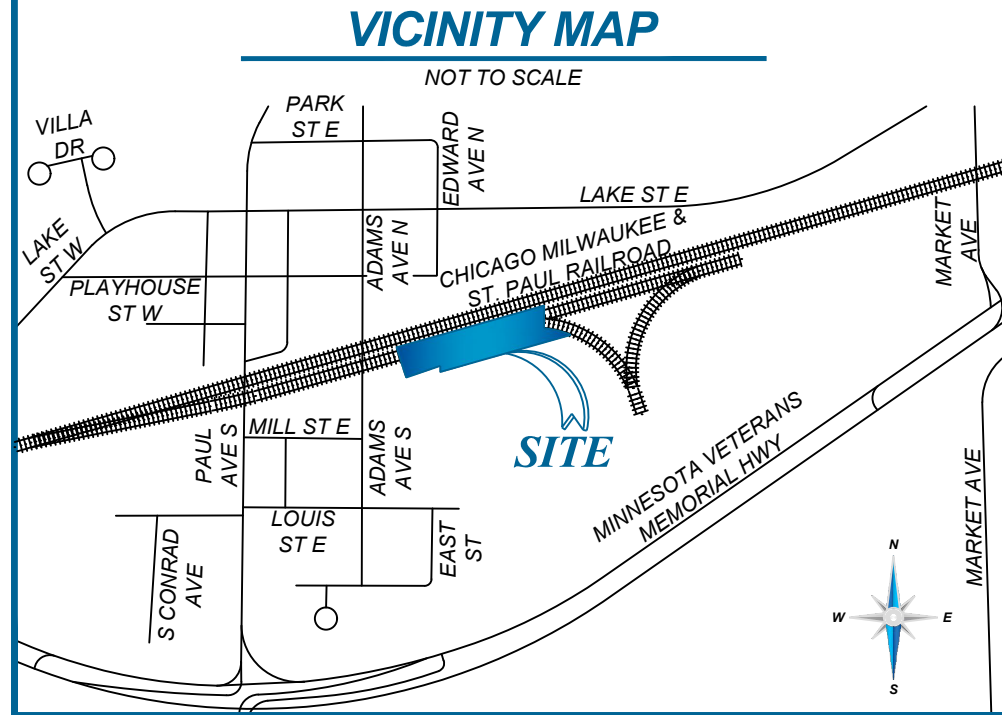
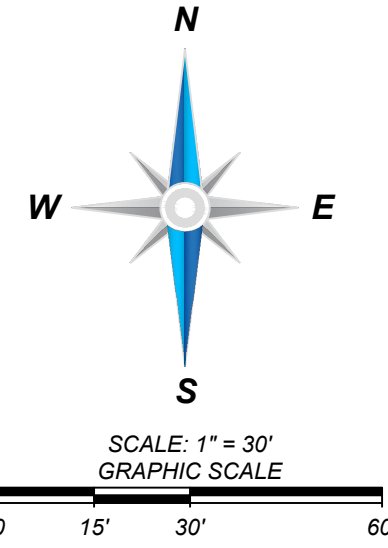


LINE TABLE

LINE	BEARING	DISTANCE
L1	N 01°02'41\"	30.25(M)

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1(M)	449.26'	17.45'	17.45'	S 87°19'49\"	2°13'31\"
C2(M)	449.05'	135.00'	134.49'	N 77°36'16\"	17°13'31\"



GENERAL NOTES

- SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- COMPLETED FIELD WORK WAS MARCH 26, 2025.
- THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT PROPERTY: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF SURVEY; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.
- NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM CARVER COUNTY GIS.
- THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE AND IS CONTIGUOUS WITH THE ADJOINING PUBLIC RIGHT-OF-WAY AND/OR ADJOINING PARCELS WITH NO GAPS OR OVERLAPS.
- ELEVATIONS ESTABLISHED WITH GPS STATIC OBSERVATIONS UTILIZING ONLINE POSITIONING USER SERVICE (OPUS) FOR POST PROCESSING WITH ORIGINATING BENCHMARK PID "PP1864"; VERTICAL DATUM BASED UPON NORTH AMERICAN VERTICAL DATUM (NAVD88) IN US SURVEY FEET. CONTOURS SHOWN ARE AT ONE FOOT INTERVALS. PUBLISHED ELEVATION: 947.96' MONUMENT DESCRIPTION: BENCH MARK DISK SET IN TOP OF CONCRETE STAMPED "H 124 1934"

INVERT INFORMATION

- GI-1
GRATED INLET
RIM ELEVATION: 944.85'
BOTTOM OF STRUCTURE: 939.0'
6\"
- GI-2
GRATED INLET
RIM ELEVATION: 947.21'
BOTTOM OF STRUCTURE: 940.0'
6\"
- SMH-1
SANITARY SEWER MANHOLE
RIM ELEVATION: 958.80'
6\"
- SMH-1
SANITARY SEWER MANHOLE
RIM ELEVATION: 971.14'
10\"

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

THE FIELD WORK WAS COMPLETED ON 03/26/2025.

DATE OF PLAT OR MAP: 03/27/2025

ROBERT J. WINNICKI
LICENSED LAND SURVEYOR 57628
STATE OF MINNESOTA

BLEW

Surveying | Engineering | Environmental

3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703

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SURVEYOR JOB NUMBER:
25-1270

SURVEY REVIEWED BY:
JMC

SURVEY DRAWN BY:
KAN - 03/27/2025

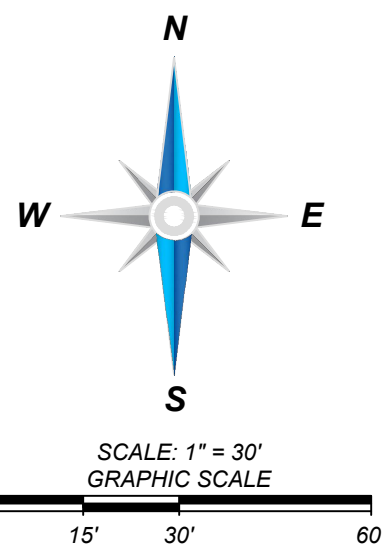
SHEET:
1 OF 2

BOUNDARY/TOPOGRAPHIC SURVEY

180 & 200 ADAMS AVENUE

LOCATED IN: SECTION 13, TOWNSHIP 115 NORTH, RANGE 25 WEST OF THE FIFTH PRINCIPAL MERIDIAN

SOUTH COLOGNE, CARVER COUNTY, MINNESOTA 55322



LEGEND & SYMBOLS

- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED
- ⊕ COMPUTED POINT
- ⋈ FIRE HYDRANT
- ⋈ LIGHT
- ⋈ GUY ANCHOR
- ⋈ BOLLARD
- ⋈ POWER POLE
- ⋈ ELECTRIC METER
- ⋈ WATER VALVE
- ⋈ GRATED INLET (GI)
- ⋈ OVERHANG
- ⋈ BOC BACK OF CURB
- ⋈ FLOW LINE
- ⋈ BB BOTTOM OF BANK
- ⋈ TB TOP OF BANK
- ⋈ EG EDGE OF GRAVEL
- ⋈ TC TOP OF GRAVEL
- ⋈ EC EDGE OF CONCRETE
- ⋈ CR CROWN OF ROAD
- ⋈ NG NATURAL GROUND
- ⋈ EW EDGE OF WATER
- ⋈ PPT PROPANE TANK
- ⋈ PVC POLYVINYL CHLORIDE PIPE
- ⋈ VCP VITRIFIED CLAY PIPE
- ⋈ RCP REINFORCED CONCRETE PIPE
- ⋈ CMP CORRUGATED METAL PIPE
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION PER DOCUMENT NUMBER: A778669
- (R1) RECORD DIMENSION PER DOCUMENT NUMBER: A778669
- NF NOW OR FORMERLY
- BHL BUILDING HEIGHT LOCATION
- FFE FINISHED FLOOR ELEVATION
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING

TEMPORARY BENCHMARK INFORMATION

TBM-1
SET 5/8" REBAR
ELEVATION: 942.57'

TBM-2
SET 5/8" REBAR
ELEVATION: 942.89'

INVERT INFORMATION

GI-1
GRATED INLET
RIM ELEVATION: 944.85'
BOTTOM OF STRUCTURE: 939.0'
6" CPP S
18" RCP INVERT E-S

GI-2
GRATED INLET
RIM ELEVATION: 947.31'
BOTTOM OF STRUCTURE: 940.0'
6" CPP N-SE
24" RCP INVERT E-S

SMH-1
SANITARY SEWER MANHOLE
RIM ELEVATION: 958.80'
6" VCP INVERT NW: 950.7'
10" PVC INVERT S: 950.0'
10" PVC INVERT W: 949.7'

SMH-1
SANITARY SEWER MANHOLE
RIM ELEVATION: 971.14'
10" PVC INVERT N: 961.1'

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 01°02'41" W	30.25 (M)

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1(M)	449.26'	17.45'	17.45'	S 87°19'49" E	2°13'31"
C2(M)	449.05'	135.00'	134.49'	N 77°36'16" W	17°13'31"

BLEW

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SURVEY DRAWN BY:
KAN - 03/27/2025

SURVEY REVIEWED BY:
JMC

SHEET:
2 OF 2

GENERAL & EXISTING CONDITIONS NOTES

1. Background information shown is from an existing conditions survey created by Blew Inc. dated 03/27/2025, an ALTA survey created by Harry S. Johnson Co. Inc. dated 08/29/2024, City of Cologne, MN record drawings, and utility service field locates. Field work for the existing conditions survey was completed on 03/26/2025, field work for the ALTA survey was completed on 08/26/2024. Excavate & Elevate Engineering offers no warranty for information provided by others. The contractor shall field verify the existing conditions of the site prior to construction. Any errors, irregularities, or omissions, shall be reported to the Engineer immediately.
2. The subsurface utility information is quality level D, based on the guidelines of ASCE/Ci 38-02, titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data". The contractor and subcontractors shall determine the precise location of all existing utilities prior to construction and the commencement of work. Contractor shall contact Gopher State One Call and submit a ticket for field locates. The contractor and subcontractors shall be fully responsible for all damages which may occur due to failure to locate all existing utilities whether underground or overhead.
3. It is the contractors responsibility to protect or otherwise relocate all existing utilities which may conflict with the proposed improvements on the plan. Contractor shall coordinate all relocations with utility owner.
4. The work shall be completed in accordance with MnDOT standards and specifications (current edition), City Engineer's Association of Minnesota standards and specifications (CEAM, current edition), the MN Plumbing Code (current edition), and the City of Cologne standard plates and revisions.
5. Contractor to contact the Owner if private utility locates are required.
6. Contractor shall obtain all necessary permits prior to construction.
7. If discrepancies exist between the existing conditions shown on these plans and the existing conditions survey, the existing conditions survey shall govern. The contractor is responsible for verifying the existing conditions shown on this plan match the existing conditions survey and the field conditions.

DEMOLITION NOTES

3. The Demolition Notes contained here are not comprehensive. Contractors and subcontractors shall visit the site prior to construction to gain a clear understanding of the existing conditions of the site, proposed improvements, and scope of work.
2. Contact utility service providers a minimum of 72 hours prior to demolition for the field locate of services. Services shown on the plan are based on information available. The Engineer assumes no responsibility for the accuracy of the utility mapping.
3. Refer to Sheet C4.0 for erosion and sediment control measures that must be in place prior to construction. The contractor shall contact the local governing authority for an inspection and approval prior to the commencement of construction if required.
4. The design shown on this plan is based on the Engineers interpretation of the existing conditions. The existing conditions shown are from an existing conditions survey created by Blew Inc. dated 03/27/2025, an ALTA survey created by Harry S. Johnson Co. Inc. dated 08/29/2024, City of Cologne, MN record drawings, and utility service field locates. If the contractor disagrees with the existing topography or other site features they shall coordinate a survey with a registered land surveyor at their own expense and submit it to the owner.
5. The contractor is responsible for the demolition of all site features shown. All debris and other construction material removed as part of the on-site and off-site improvements shall be disposed of at a location approved by the governing authorities. All removed facilities shall be brought to grade per the recommendation of a geotechnical engineer or geotechnical report.
6. Clearing and grubbing: The contractor shall obtain all necessary permits prior to demolition. All site material shall be disposed of in a lawful manner.
7. The contractor is responsible for the disconnection of utility services to existing buildings, if applicable.
8. Underground utility mapping including but not limited to sewers, water, conduit, and other pipes shall not be interpreted as the exact location.
9. Existing piping and conduits may be abandoned in place if not within 10' of the proposed buildings or in conflict with other proposed site features or utilities. Contractor shall blow the pipe full of sand.
10. The contractor is responsible for coordinating work with all utility companies for the relocation, removal, or installation of new utility services. This includes work to be performed by the contractor or subcontractors and the utility company. The contractor is responsible for all related fees and charges in relation to this work.
11. Utilities for the contractor to coordinate shall include but not be limited to gas, telephone, electrical, fiber optic, and cable lines. The contractor shall coordinate work with the utility companies as early as possible to ensure the smooth transition of services.
12. The contractor shall provide all lights, barricades, traffic control signs, fencing, and other necessary measures to protect the public throughout construction. The contractor shall maintain access to surrounding properties at all times.
13. The contractor shall create and submit a traffic control plan and/or pedestrian traffic control plan to the governing authority if required.
14. Removal dimensions are approximate. The demolition plan shall be coordinated with the new construction plan to ensure the proper quantity and location of site features to be removed.
15. The contractor shall protect all site features not indicated for removal including but not limited to adjacent property, trees, pavements, utilities, buildings, fencing, walls, landscaping, and structures. Any site features damaged not intended for removal shall be repaired at the contractors expense.
16. Removal or abandonment of storm sewer, sanitary sewer, or water shall comply with City standards and regulations. Street restoration shall comply with the local jurisdiction standards and specifications.

SITE DEVELOPMENT NOTES

1. Site areas are rounded to the nearest square foot. Dimensions shown are rounded to the nearest tenth of a foot.
2. Refer to architectural plans for information on building elements including but not limited to steps, stoops, ramps, porches, decks, entrances, and garages.
3. Contractor shall coordinate building utilities with civil plans plans prior to construction.
4. Refer to final plat for lot boundaries, dimension, areas, lot numbers.
5. Any sidewalk along an ADA route shall have a maximum cross slope of 1:50 (2.00%) and a maximum longitudinal slope of 1:20 (5.00%). Curb ramps shall have a maximum slope of 1:12 (8.33%). All ADA stalls and access aisles shall have a maximum slope in any direction of 1:50 (2.00%). Contractor shall review the grading and paving plan prior to the placement of any sidewalk, concrete, bituminous, or curb and gutter and notify the Engineer if their is a discrepancy between the field gradient and the plan gradient. Work shall be coordinated with the paving and grading contractors.
6. "No Parking Signs" shall be placed along roads and driveways as required City.
7. Contractor to provide record plans to the City and other governing agencies as required.
8. Digital files shall be used at the contractors own risk. Contractor shall compare the building footprint as shown on this plan to the Structural and Architectural plans. Discrepancies between the plans or digital file and the drawings shall be reported to the Engineer immediately.

EROSION & SEDIMENT CONTROL NOTES

3. All perimeter erosion and sediment control devices shall be installed prior to construction and remain in place until final stabilization of the site. Remove devices and dispose of off site after final stabilization is achieved.
2. Soil disturbance shall be limited to the construction limits as indicated on the plan. Construction shall be sequenced to minimize the length of time disturbed soils remain exposed.
3. Construction entrances and vehicle tracking pads shall be installed as shown on the Grading and Erosion Control sheets to minimize tracking of sediment from vehicles leaving the site onto adjacent streets. Adjacent streets shall be swept clean weekly. Construction exits shall be inspected weekly for evidence of off-site sediment tracking.
4. Construction shall comply with all applicable governing codes and specifications. When a conflict exists between jurisdictional standards and the standards and specifications in this plan, the more stringent specification shall apply to the project.
5. Contractor shall install all temporary and permanent Best Management Practices (BMP's) as identified in this plan and as required by applicable permits. The contractor shall oversee the inspection and maintenance of the BMP's throughout the duration of construction until final stabilization is achieved and the local governing authorities have approved their removal. Additional BMP's may be required at the direction of the Engineer or other governing authorities and shall be installed at no additional cost to the owner.
6. BMP's shall meet all local, state, or federal requirements.
7. Ground disturbing activities are prohibited beyond the construction limits as indicated in this plan.
8. All water for washing (vehicles, concrete trucks, equipment, etc.) shall be contained to a defined area of the site and contained disposed of in a legal manner. No engine degreasing is allowed on the site.
9. All concrete washout solids and liquids shall be disposed of in a manner compliant with local, state, and federal regulations.
10. Dust from the site shall be controlled. Toxic liquids shall not be used for dust suppression.
11. All disturbed portions of the site that cease construction activity shall be temporarily seeded within 14 days. Seed mixture shall conform to MnDOT 21-111 or 21-112, depending on the season of planting. Refer to MnDOT specification 2575.3.
- 11.1. Temporary mulch shall also be applied in accordance with MnDOT specification 2575.3F1 and 2575.3G. Hydraulic soil stabilizer may also be used in accordance to MnDOT specification 2575.3H.
12. All stockpile and borrow areas shall be protected from erosion through the use of BMP's.
- 12.1. Temporary stockpiles must be controlled with BMP's and shall not be placed within stormwater management systems or conveyance systems (including curbs and ditches).
13. A designated person must routinely inspect the site BMP's every seven days and within 24 hours of a rainfall event of greater than 0.5 inches in 24 hours. Repair and clear sedimentation/debris from all erosion and sedimentation control devices.
14. Silt fences shall be repaired and/or replaced when they no longer function or when the sediment reaches half the height of the fence. Repairs shall be made within 24 hours after the discovery of the defect.
15. Surface waters, drainage ditches, and stormwater conveyance systems must be inspected for sedimentation deposits from erosion. If evidence is of erosion is found, the contractor shall remove deposited sediment, and stabilize the area to prevent further erosion.
16. If sediment escapes the site, it shall be the contractors responsibility to sufficiently remove the sediment from downstream affected areas and restore the affected waters to pre-contaminated conditions.

PAVING NOTES

1. Spot elevations within curb lines indicate the gutter elevation unless otherwise noted.
2. Grades between spot elevations shall be continuous. Spot elevations shall prevail over contour lines.
3. Concrete joints shall be installed as follows:
 - 3.1. Joints shall be constructed along sidewalks, pavements, and curb. Joints shall align where applicable, and the contractor shall construct the following joints as indicated.
 - 3.1.1. Tooled joints are to be constructed when dividing panels into equivalent areas.
 - 3.1.2. Expansion joints shall be installed along sidewalk at a maximum of 40 foot intervals, at curb and gutter a maximum of 60 foot intervals, and within pavement a maximum of 80 foot intervals. They shall also be installed adjacent to building stoops and foundations.
 - 3.1.3. Contraction joints shall be installed in sidewalks every 8 to 10 feet and within curb and pavement every 12 to 15 feet.
4. The contractor shall ensure ADA access aisles and stalls do not exceed 1:50 (2.00%) slope in any direction.
5. Accessible routes shall be paved with a maximum cross slope of 1:50 (2.00%) and a maximum longitudinal slope of 1:20 (5.00%) except at pedestrian ramps. The contractor shall coordinate the grading plan with the paving plan to ensure compliance prior to installation.
6. All structures within pavement shall be adjusted to final grade.

GRADING NOTES

1. The contractor shall contract the utility service providers a minimum of 72 hours prior to the start of any grading operations for the marking of underground utilities.
2. The contractor shall refer to the geotechnical report, if available, for information on groundwater conditions and backfill material.
3. A sufficient quantity of topsoil shall be scraped and stockpiled on site for reuse. A minimum of 6" is required in all landscaped areas.
4. Groundwater seepage must be removed from excavations in a lawful manner. Stable foundation material shall be placed in areas where the soil is wet and unstable.
5. Building pad shall be graded to 12 inches below finished floor elevation (FFE).
6. Structural specifications shall determine earthwork requirements below the building pad(s).
7. If unsuitable soil is found on-site (fill, contaminated, organic material, etc.) an independent testing firm shall verify the corrections needed and specify fill material.
- 7.1. All unsuitable material shall be removed from the site at no additional cost to the owner.
8. Fill material shall be placed in lift thicknesses relative to the soil type and compaction equipment used.
9. Cohesive soils greater than three feet deep below paved areas shall be compacted to 95% of maximum dry density, Standard Proctor (ASTM D698). The top three feet within paved areas shall be compacted to 100%. Where fill material exceeds 10 feet in depth, the fill shall be compacted to 98%. All fill material shall be within 3% of the optimum moisture content during placement and compaction. Granular soils shall be compacted to 95% or greater of the Modified Proctor density (ASTM D1557).
10. Refer to Architectural or Structural plans for building stoops, stairs, patios, decks, etc. It shall be the contractors responsibility to coordinate Architectural and Structural items with grades shown on this plan.
11. Spot elevations denote gutter grade, contours are to finished grade elevation.
12. "Gutter Out" curb shall be constructed where water drains away from the curb. "Gutter In" shall be constructed at all other locations. The "Gutter Out" curb indicated on this plan is for reference only. The contractor shall review the grading and paving plan and verify and construct all locations of "Gutter Out" curb.
13. Any sidewalk along an ADA route shall have a maximum cross slope of 1:50 (2.00%) and a maximum longitudinal slope of 1:20 (5.00%). Curb ramps shall have a maximum slope of 1:12 (8.33%). All ADA stalls and access aisles shall have a maximum slope in any direction of 1:50 (2.00%). Contractor shall review the grading and paving plan prior to the placement of any sidewalk, concrete, bituminous, or curb and gutter and notify the Engineer if there is a discrepancy between the field gradient and the plan gradient. Work shall be coordinated with the paving and grading contractors.
14. Contractor shall avoid damage to adjacent properties. The contractor shall be responsible for any damages incurred.
15. The contractor shall be solely responsible for safe conditions on the job site. This includes any associated company, person, or equipment performing work. The contractor shall maintain safe working conditions continuously throughout the day during work hours, and during non-work hours as well. It is not the responsibility of the Engineer to perform safety inspections on or near the site.
16. The contractor shall provide all lights, barricades, traffic control signs, fencing, and other necessary measures to protect the public throughout construction. The contractor shall maintain access to surrounding properties at all times.
17. Existing trees and vegetation not indicated for removal within the site and adjacent to the site shall be protected AT ALL TIMES. These areas shall be considered a restricted area of the site. Contractor and subcontractors shall use extreme caution when working near or under existing trees. If tree trimming is required for construction activities or operation of equipment the contractor shall hire a professional tree trimming service to trim the trees prior to construction at no additional cost to the owner. Damages to the trees shall be reported to the Engineer immediately. Broken limbs shall be cut and removed properly to avoid additional damage. No tree shall be removed without prior authorization from the Engineer.
18. The contractor shall finish grade the surface by uniformly and smoothly grading all areas within the construction limits to the finished ground elevation surface within the below tolerances. The slope shall be uniform and provide smooth transitions between existing and finished grades. Finished graded areas shall be protected from subsequent construction activity and erosion. Any disturbed areas after final grading shall be repaired including but not limited to areas of rutting, erosion, or settling. All disturbed areas outside of the construction limits shall be final graded per these requirements and restored to pre-construction conditions.
19. Tolerances shall be as follows:
 - 19.1. The residential building subgrade finished surface elevation shall be within +/- 0.30', at any point the measurement is made.
 - 19.1. The commercial building subgrade finished surface elevation shall be within +/- 0.10', at any point the measurement is made.
 - 19.2. The parking area or street subgrade shall be no more than 0.05' above the finished surface elevation and no more than 0.10' below the finished surface elevation, at any point the measurement is made.
 - 19.3. The subgrade of areas that shall received topsoil shall be within +/- 0.10' of the finished surface elevation, at any point the measurement is made.
 - 19.4. Placed topsoil thickness shall be within 0.5 inches of the specified thickness.
20. All excess material shall be transported off the site by the contractor. All import material shall be brought to the site by the contractor.
21. Contractor shall determine haul roads to the site and determine each roads governing authority. The contractor shall comply with all regulatory requirements.
22. Record plans shall be provided by the contractor to all governing authorities as required.

UTILITY NOTES

1. The contractor shall contract the utility service providers a minimum of 72 hours prior to the start of any grading operations for the marking of underground utilities.
2. Contractor shall field verify the location and elevation of all utilities prior to construction and notify the Engineer of any discrepancies from the plan and the field data.
3. Contractor shall pothole all utility crossings prior to construction. Contractor shall verify field located depths do not conflict with all proposed pipe crossings. The Engineer shall be contacted immediately if conflicts are discovered.
4. Contractor shall coordinate all private utility services including but not limited natural gas, electric, and communications. Contractor shall coordinate all work including service extensions to the buildings, removal/relocation of existing facilities, and installation of new facilities.
5. Contractor shall coordinate with the electric utility for transformer pad design and location.
- 5.1. The primary electric feed and transformer is installed by the utility company. The secondary electric and conduits are installed by the contractor. The contractor shall confirm and coordinate this process with the electric utility company.
- 5.2. The gas company will install gas piping from the mainline to the meter. Gas services after the meter shall be installed by the contractor. The contractor shall confirm and coordinate this process with the gas utility company.
- 5.3. Contractor shall coordinate with communication company(s) on required conduit needed for cable television, and other electronic communication services. At a minimum, the contractor shall provide one 4 inch PVC with pull-string from the new building to the existing telephone service box.
6. Cohesive soils greater than three feet deep below paved areas shall be compacted to 95% of maximum dry density, Standard Proctor (ASTM D698). The top three feet within paved areas shall be compacted to 100%. Where the fill material exceeds 10 feet in depth, the fill shall be compacted to 98%. A fill material shall be within 3% of the optimum moisture content during placement and compaction. Granular soils shall be compacted to 95% or greater of the Modified Proctor density (ASTM D1557).
7. All structures shall be brought to final grade when disturbed. Comply with all utility company rules and regulations.
8. All utility improvements shall be installed in accordance with the "Standard Utilities Specifications" published by the City Engineers Association of Minnesota (CEAM), except as modified here. It is the contractors responsibility to obtain a copy of these specifications.
9. Construct all utilities in accordance with local, state, and federal requirements including the Department of Labor and the Department of Health. All pipe materials shall meet the requirements of the City.
10. Contractor shall coordinate with the City prior to interfering or turning off any watermain that belongs to the City. The contractor shall receive prior authorization for all connections or modifications. The contractor shall be liable for any costs or damages resulting from the interference of the watermain without City approval.
11. Coordinate all building service locations with the Mechanical, Plumbing, and Architectural plans. Any service with less than 5 feet of cover shall be insulated.
12. Record plans shall be provided by the contractor to all governing authorities as required.
13. All utility services to buildings shall be coordinated with the mechanical, structural, architectural, and plumbing plans prior to construction. Work shall also be coordinated with the plumbing and mechanical contractors. No additional compensation will be provided for work that is not coordinated.

CIVIL 3D LIMITATIONS

The Engineers deliverables for the project are limited to hard copy and digital pdf versions of the plan sheets. With the owners permission, we may release Civil 3D digital models of the files used in the creation of the sheets. It is at the contractors, subcontractors, and any other third party users risk to use the digital files. These digital files shall not be used for staking of any hard surface improvement including but not limited to buildings, sidewalks, and curbs.

ANY DIGITAL FILE RECEIVED FOR USE BY A CONTRACTOR OR THIRD PARTY SHALL BE USED AT THEIR OWN RISK. DIGITAL FILES MAY VARY FROM THE PLAN SHEETS, CONSIST OF ERRORS, BE OUT OF DATE, OR BE MODIFIED FROM THEIR ORIGINAL VERSIONS.

PROJECT NAME

LOCKED LOON STORAGE EXPANSION

COLOGNE, MN

CLIENT / DEVELOPER

ODAT HOLDINGS, LLC

5904 OAKLAWN AVENUE,
EDINA, MN 55424
612-759-0982

CITY / COUNTY



ISSUANCES & REVISIONS

ISSUANCE	DATE
CITY/WATERSHED SUBMITTAL	05/07/2025
WATERSHED RESUBMITTAL	05/22/2025
CITY/WATERSHED RESUBMITTAL	06/13/2025

CERTIFICATION

PRELIMINARY
(NOT FOR
CONSTRUCTION)

CITY/WATERSHED
RESUBMITTAL
06/13/2025



PHONE: 763-245-4233
WEB: ExcavateAndElevateEng.com
CONTACT: Austen Adam
PROJECT NUMBER: 25003

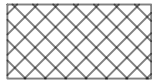
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C0.2

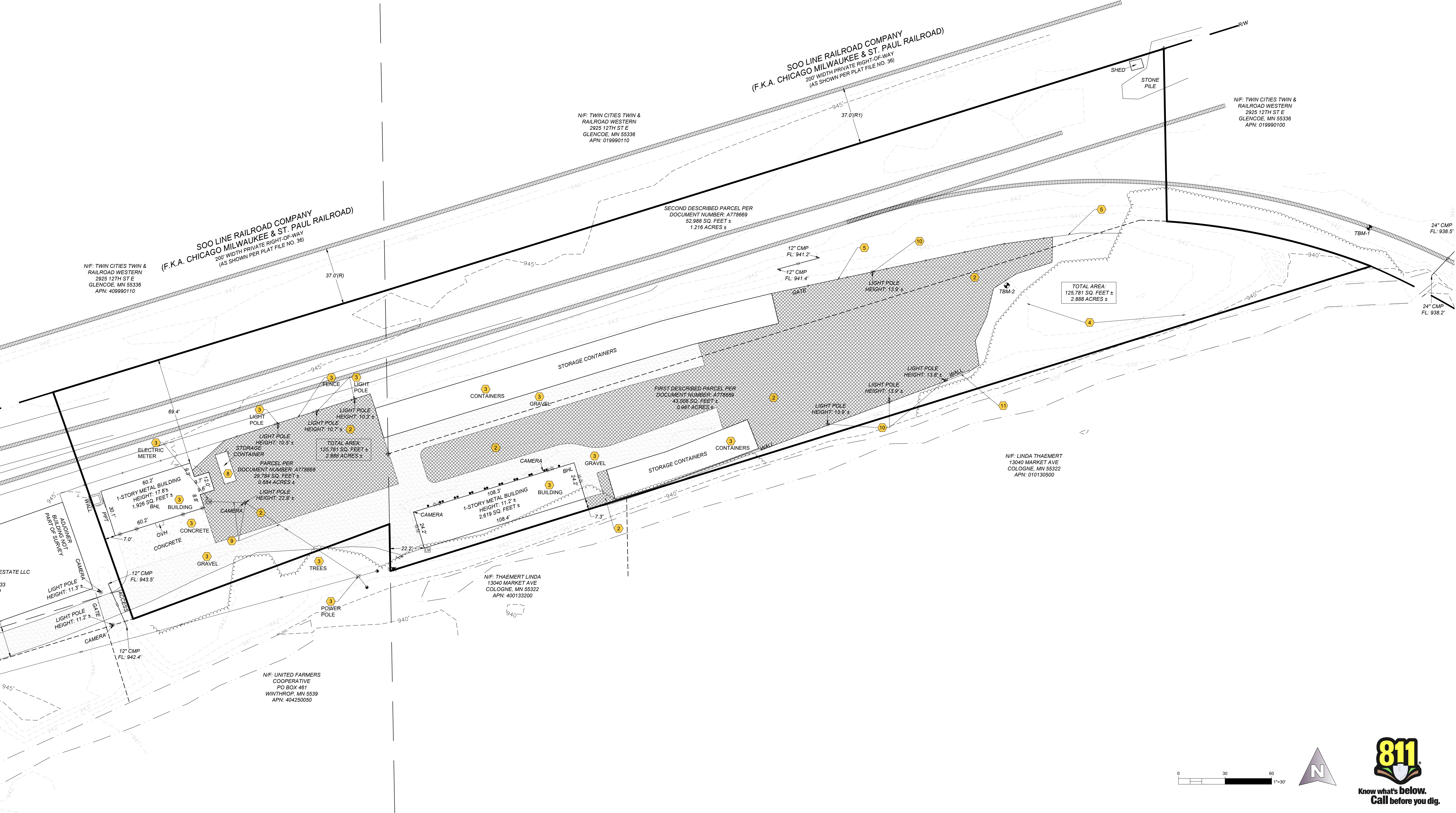
SHEET NOTES

1. Refer to Sheet C0.2 for General, Existing Conditions, and Demolition Notes. Refer to the existing conditions survey for the existing conditions of the site.
2. Remove existing gravel necessary for proposed site improvements. Where gravel is proposed within the site disturbance limits, the contractor shall scrape and remove existing gravel in areas of cut and add and compact gravel in areas of fill. Refer to the grading plan on Sheet C4.0 for proposed gravel locations and grades. Gravel removed from the site shall be salvaged and reused.
3. Protect all pavement, curb, utilities, landscaping, neighboring property, and any other site features not indicated for removal. Damages shall be repaired by the contractor at no additional cost to the owner.
4. Remove existing trees and vegetation necessary for proposed site improvements. Under no circumstance shall the contractor remove trees from adjacent properties or that are outside of the construction limits. Removal shall include stump and underground root structure. Refer to Sheet C3.0 for construction limits and approximate location of trees that are to remain.
5. Remove existing fence, gate, and associated foundations.
6. Coordinate reuse, removal, or relocation of private utilities with utility owner. This shall include but not be limited to power/utility poles, guylines, handholes, telephone/cable boxes and new utility services. All disturbed utilities shall be restored to pre-construction conditions if disturbed.
8. Remove and salvage existing storage container. Coordinate relocation with owner.
9. Remove and salvage existing light/power pole, camera, and overhead electric lines. Refer to the photometrics plan for proposed relocation. The contractor shall coordinate the relocation of the overhead power lines and power pole with the utility owner. Removal shall include foundation if applicable.
10. Remove and salvage existing light pole, refer tot he photometrics plan for proposed location. Unused poles shall be removed from the site. Removal shall include foundation if applicable.
11. Remove existing wall and any related foundations.
12. Refer to sheet C4.0 for erosion and sediment control measures that shall be installed prior to the commencement of work.
13. Refer to sheet C3.0 for construction limits.

DEMOLITION LEGEND



: PAVEMENT REMOVAL (REFER TO NOTE 2)



PROJECT NAME

LOCKED LOON
STORAGE
EXPANSION

COLOGNE, MN

CLIENT / DEVELOPER

ODAT HOLDINGS, LLC

5904 OAKLAWN AVENUE,
EDINA, MN 55424
612-759-0982

CITY / COUNTY



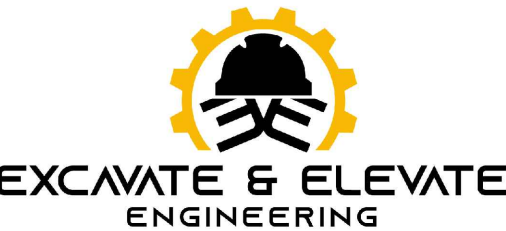
ISSUANCES & REVISIONS

ISSUANCE	DATE
CITYWATERSHED SUBMITTAL	05/07/2025
WATERSHED RESUBMITTAL	05/22/2025
CITYWATERSHED RESUBMITTAL	06/13/2025

CERTIFICATION

PRELIMINARY
(NOT FOR
CONSTRUCTION)

CITY/WATERSHED
RESUBMITTAL
06/13/2025



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PROJECT NUMBER: 25003



DEMOLITION PLAN

C2.0