

STRUCTURAL NOTES

Unless noted otherwise on the plans and/or in the details, these notes shall apply. If there are discrepancies between the plans, details, specifications and/or these notes, the contractor shall conform to the more stringent requirements, unless clarified with the Structural Engineer of Record (SER) prior to work.

MATERIAL STRENGTHS

Structural Steel
HSS Rectangular and Square - ASTM A500 Gr. C, Fy = 50 ksi
W and WT shapes - ASTM A992, Fy = 50 ksi
Misc. structural steel - ASTM A36, Fy = 36 ksi

Structural Steel Fasteners
Connection bolts - ASTM A325 or F1552, Fu = 120 ksi
Anchor rods - ASTM F1554, Gr. 36, Fy = 36 ksi
Threaded Rods - ASTM A36, Fy = 36 ksi

Reinforcing Steel
Deformed Bars - ASTM A615, Gr. 60, Fy = 60 ksi
Weldable Bars - ASTM A706, Gr. 60, Fy = 60 ksi
Fabric - ASTM A185, Fy = 70 ksi
Masonry Joint Reinforcing - ASTM A951, Fy = 70 ksi
Epoxy Coating for Reinforcing Steel - ASTM A775

Concrete
f'c = compressive strength in 28 days
4,000 psi unless noted otherwise
5,000 psi for footings
3,000 psi for masonry corefill

Masonry
Concrete Masonry Units - ASTM C90
f'm = net area compressive strength of masonry based on IBC table 2105.2.2.1.2
2,000 psi unless noted

Structural Lumber
All dimensional lumber - #2 Spruce Pine Fir (SPF) or equal
Laminated Veneer Lumber (LVL)
E = 2,000,000 psi
Fb = 2600 psi
Laminated Strand Lumber (LSL)
E = 1,550,000 psi
Fb = 2,325 psi
Parallel Strand Lumber (PSL)
E = 2,000,000 psi
Fb = 2900 psi
Treated lumber - #2 Southern Pine or equal

DESIGN LOADS

Roof
Dead load
17 psf (7 psf top chord + 10 psf bottom chord)
Snow load
Roof snow load = 35 psf

Wind
Ultimate Design Wind Speed 115 mph
3 second gust
Exposure B, I = 1.0
Risk Category II
Wind Shear walls have been designed using IRC R301.1.3

EXISTING CONDITIONS

001. Contractor shall verify all dimensions, elevations, and details of existing structure where they affect this construction prior to fabrication.
002. Contractor shall take precautions to avoid adding load or stress to any adjacent structures during construction.

TEMPORARY BRACING

003. Contractor is responsible for bracing, without over-stressing, all structural elements as required at all stages of construction until completion of this project. Provide temporary lateral support for all walls until walls are adequately braced by permanent structure. Shore foundation walls retaining earth until floor framing and basement slab are in place. Use caution when operating equipment adjacent to foundation walls.

GENERAL SOIL NOTES

004. The structure has been designed using a presumptive load-bearing value of 2000 psf in accordance with Table R401.4.1 of the 2018 IRC on virgin soil or compacted granular fill for footings.
005. Presumptive soil bearing value to be verified by a geotechnical engineer where required by the building official per R401.4.
006. The existing footings have been assumed to be typical spread footings on good soils that are assumed to be performing adequately.
007. Any discrepancies in the assumed allowable soil bearing pressure shall be reported immediately.
008. Remove all top soil, un-compacted fill, or other poor soil from the construction area.
009. Slope the site to drain away from the building.
010. Install gutters and downspouts with long extensions, recommended.
011. Install drain tile, recommended.
012. Backfill with granular soils, recommended.

FOOTINGS/FOUNDATIONS

013. All footings are to be formed. All stumps, roots and debris must be removed from the soil to a depth of at least 12" below the surface of the ground in the area occupied by the building. Footings shall be placed on virgin soil or compacted granular fill.
014. Wall footings are cast-in-place concrete with continuous reinforcing placed 3" clear of bottom and 2" clear at top and sides.
015. Wall footings are centered under walls and column footings under columns.
016. Wall footings shall be a minimum of 8" thick with a 4" projection each side of wall.
017. Reinforce with 2 - #4 continuous bottom bars.
018. Column footings shall be a minimum of 10" thick, with plan dimensions as shown on drawing. Reinforce with #4 bottom bars at 8" o.c. each way.
019. Provide 30 bar diameter lap at splices and full crossing lap at corners and intersections. Tie all reinforcing in place. Set footing reinforcing on chairs or masonry brick to obtain 3" clearance from bottom of footing.
020. Maintain minimum root depth of 42" for all exterior footings, 60" for deck footings.
021. Step footings in a uniform manner using a 2:1 horizontal to vertical slope. Cast dowels in footing for foundation walls above. Dowels shall be the same quantity, size, and spacing as the vertical wall reinforcing. Dowels shall be 30" long and extend to 3" clear of bottom of footing.
022. Contractor shall be responsible for implementing hot weather concrete requirements per ACI 305 and cold weather concrete requirements per ACI 306.
023. Shore all foundation walls appropriately before backfilling and compacting.
024. Foundations supporting wood shall extend at least 6" above the adjacent finished grade.
025. The contractor shall verify the location of all existing underground utilities and tanks prior to beginning excavation.
026. The contractor shall follow IRC Figure R403.1.7.1 for foundation clearances to slopes unless indicated otherwise by the soils engineer.

CONCRETE

027. Provide ready-mixed concrete per ASTM C94. Portland cement shall be ASTM C150, Type I. Use only one brand of cement throughout the work. Provide concrete aggregates meeting the requirements of ASTM C33.
028. Maximum aggregate size shall be 3/4" for grade beams and slabs. Water shall be clean, free of deleterious amounts of acids, alkalis, or organic materials, and shall be considered potable. Provide admixtures to reduce water content, provide air-entrainment, or alter the quality of the concrete to meet the job conditions.
029. Place reinforcing 2" clear to outside face and 1 1/2" clear to inside face of concrete wall.
030. Provide #4 x 4'-0" long (equal legs) horizontal reinforcing corner bars at 18" o.c. at outside corner of wall and 2 - #4 vertical support bars.

CONCRETE (continued)

031. All wall openings larger than 12" shall have 2 - #5 at all sides extending 2'-0" beyond each edge of opening with 2 - #5 x 4'-0" diagonal bars at each corner of opening.
032. Wall reinforcing shall be continuous through columns and pilasters.
033. Provide full development and splice lengths per Concrete Reinforcing Steel Institute (CRSI) or ACI 318 requirements.
034. All concrete exposed to weather, freeze-thaw conditions or de-icing chemicals shall contain 5% - 7% entrained air.
035. Slump shall be determined by ASTM C143 as follows:
Footings 3" - 4"
Walls, Columns 3" - 5"
Slabs on grade 3" - 4"
Structural slabs, beams 3" - 4"
Masonry Grout 8" - 11"
036. Concrete shall not be laid when the temperature of the outside air is below 40 degrees Fahrenheit, unless approved methods are used during construction to prevent damage to the concrete. All materials used and surfaces built upon shall be free of snow and ice.
037. Wood beams pocketed into concrete shall be provided with a 1/2" air space on top, end, and sides unless treated wood or steel plates are used.
038. Concrete shall not bear permanently on wood members.

SLABS ON GRADE

039. All slabs on grade shall be reinforced with WWF6x6-W1.4 x W1.4 in center of slab or polypropylene fiber reinforcement.
040. Slabs on grade adjacent to foundation walls retaining earth shall be a minimum of 3 1/2" thick.
041. Construction and/or control joints shall occur at a maximum of 8'-0" o.c. at exterior slabs on grade, and at a maximum of 10'-0" o.c. at interior slabs on grade.
042. Construction and/or control joints shall be laid out in a rectangular pattern with long to short side ratio less than or equal to 1.5 and with no re-entrant corners.
043. Control joints for slabs on grade shall be saw cut as soon as concrete can accept it without raveling.
044. Do not cut structural slabs or topping slabs.
045. All control/construction joints shall be continuous and not staggered or offset.
046. Control joints shall be cleaned and sealed for curing purposes as soon as possible.
047. Verify floor finishes and control/construction joint locations with owner and architect.

REINFORCED CONCRETE MASONRY WALLS

048. Hollow unit concrete masonry shall be ASTM C90.
049. Mortar shall be per ASTM C270: Type M or S for below-grade, load bearing and exterior masonry; Type N for all interior non-load bearing above grade masonry.
050. All masonry units shall be placed in running bond.
051. Provide special shapes for jambs, columns, pilasters, control joints, corners, and lintels.
052. See plans for location and spacing of reinforcement in walls. When one bar is in a single core, place in center unless noted otherwise. When two bars are in a single core, place one near each face.
053. Place at least one vertical reinforcing bar in wall corners.
054. Provide 1/4" diameter ties 8" on center set into joints in all lintel and bearing plate masonry columns.
055. Vertical steel shall be lapped 48 bar diameters at all splices.
056. Provide full mortar bedded face shells and webs around all grouted cells for full bearing and to prevent leakage into adjacent cells.
057. Grout shall be per ASTM C476.
058. Fill masonry core at vertical columns with 3,000 psi grout vibrated in place.
059. Wall construction shall not exceed heights of 4'-0" before placement of core grout unless cleantout holes are provided at the bottom of each grout lift, then maximum height of 8'-0" before placement of core grout.
060. Provide ladder or truss style horizontal joint reinforcing, fabricated with galvanized 9 gauge wire, placed every 2nd course.
061. Provide bond beam with 2 - #5 at all floor lines, roof lines, and top of walls.
062. Provide corner bars with 2'-0" legs for each horizontal bar in all bond beams at corners and intersecting walls.
063. Refer to dimension lumber notes for anchor bolt requirements.
064. Masonry shall not be laid or grouted when the temperatures of the outside air is below 40 degrees Fahrenheit, unless approved methods are used during construction to prevent damage to the masonry.
065. All materials used and surfaces built upon shall be free of snow and ice.
066. Wood beam pocketed into masonry shall be provided with a 1/2" air space on top, end, and sides unless treated wood or steel plates are used. Solid grout the masonry voids below a minimum of 2 courses below bearing.
067. Masonry shall not bear permanently on wood members.
068. Place control joints in above grade masonry walls such that no straight run of wall exceeds the lesser of 40 feet or 3 times the height.
069. See architectural plans for location and detail of wall control joints.

STRUCTURAL STEEL

070. All structural steel shall be designed, fabricated, and erected according to specifications of the American Institute of Steel Construction (A.I.S.C.) Latest Adoption.
071. Structural steel supplier shall supply all cap plates, bearing assemblies, base plates, stiffeners, splices, and connections, and shall follow standard AISC details unless noted on drawings.
072. All welding shall be done by the shielded arc process using E70 electrodes in accordance with the rules of the American Welding Society (A.W.S.) Structural Welding Code, Latest Adoption. All welders shall be certified by the rules of the American Welding Society.
073. Tighten anchor bolts and grout column base plates before installing steel beams.
074. Provide complete detailed shop drawings to the contractor for review and approval prior to fabrication.
075. Provide 5/16" full height web stiffeners at all column and support locations.
076. Design intention when columns bear on beams is to have bearing plates match beam width x column width + 6".

DIMENSION LUMBER

077. Design assumes lumber is free of significant splits and checks, and contractor will visually inspect during installation.
078. Sills and all other lumber in contact with concrete or masonry and within 8" of finished grade shall be preservative treated wood. In crawlspaces or unexcavated areas within the building foundation, wood shall be preservative treated for joists within 18" of exposed ground and/or girders within 12" of exposed ground.
079. Preservative treated wood shall be in accordance with the American Wood Protection Association, Standard U1.
080. Treat all cut ends of treated material.
081. All lumber is to be grade stamped, which is to contain grading agency, mill number or name, grade of lumber, species or species grouping or combination designation, rules under which graded, where applicable, and condition of seasoning at time of manufacture.
082. All lumber shall be seasoned to a moisture content of 19% or less, with the indication of "S-Dry" on the grade stamp.
083. All lumber shall be protected from the elements.
084. Sill plates to be bolted to foundation wall with 1/2" diameter galvanized anchor bolts at 4'-0" on center maximum. Bolts to extend 9" minimum into solidly grouted foundation wall. Each sill plate to have a minimum of 2 bolts with one bolt located not more than 12 inches or less than 4 1/2 inches from each end of the plate section. Use 1/8" x 2" x 2" galvanized washers, slightly crushing plate.
085. Minimum nailing shall be in accordance with Table R602.3(1) of the 2018 IRC unless noted otherwise.
086. All walls shall have a single bottom plate and double top plate, unless noted otherwise.
087. Exterior walls shall be 2 x 6 studs @ 16" on center, unless noted otherwise.
088. Interior bearing walls shall be 2 x 6 studs @ 16" on center, unless noted otherwise.
089. Interior non-load-bearing walls shall be 2 x 4 studs @ 16" on center, unless noted otherwise.
090. Typical openings to have a minimum of 2 bearing (trimmer or jack) studs and 1 full-height king stud.
091. Headers not noted to be 2 - 2 x 6 up to 4'-0" span and 2 - 2 x 8 from 4'-0" to 6'-0" span. Wood headers shall have a minimum 3" length of bearing at each end or bear the entire length of the bearing studs.
092. Beams shall bear on a minimum of 3" along their length and fully along their width and have a minimum of 2 full width studs supporting them.
093. Joists shall bear the full width of supporting members (stud wall, beams, etc.).
094. Provide solid vertical blocking at all joint spaces below wood columns. Provide matching columns to foundation at lower levels below columns comprised of 3 or more studs.
096. All beams and joists not bearing on supporting members shall be framed with prefabricated joist hangers.
097. 1 1/2" nails shall not be used at joist hangers unless specified for the specific joist hanger by the manufacturer.
098. 1 1/2" nails shall not be used for beam and girder hangers.
099. See hanger manufacturer catalog for required nails or screws for 100% allowable loading.
100. Beams or headers made of 2x's shall be nailed together with 2 - rows 16d nails (.162" x 3 1/2") at 12" o.c. along each edge, typical for each lumber ply.

DIMENSION LUMBER (continued)

101. Nail built up posts made of 2x stud material with 2 - rows 16d nails 12" on center each ply, up to 3-piles. Screw built up posts made of 2x stud material with 1/4" x 6" SDS screws 8" on center staggered for 4-piles.
102. Attach 2-ply LVL beams with 2-rows of 1/4" x 3 1/2" SDS screws 16" on center, unless noted otherwise.
103. Attach 3-ply LVL beams with 2-rows of 1/4" x 3 1/2" SDS screws 16" on center both faces, unless noted otherwise.
104. Attach 4-ply LVL beams with 2-rows of 1/4" x 6" SDS screws 16" on center both faces, unless noted otherwise.
105. Spacing of bridging for joists shall not exceed 8'-0".
106. Double all joists under parallel partitions or single floor truss.
107. All plywood and OSB shall be installed per American Plywood Association standards, including the use of construction adhesive for fastening to floor joists.
108. All fasteners and hangers in contact with treated lumber shall be G185 hot dipped galvanized or equal.
109. Lumber grading rules and wood species shall conform to Voluntary Product Standard PS 20-99 as published by the Department of Commerce. Grading rules shall be by an agency certified by the Board of Review of the American Lumber Standards Committee.
110. Performance requirements, adhesive bond performance, panel construction and workmanship, dimensions and tolerances, marking, and moisture content of Wood-based Structural-use Panels shall conform to Voluntary Product Standard PS 2-92, as published by the Department of Commerce.
111. Place sheetrock wall control joints max 30ft apart per the Wall and Ceiling Bureau Technical Bulletin.
112. Do not drill or notch plumbing holes near knots in any framing.

WOOD TRUSSES

113. Responsibilities of the contractor, building designer, truss manufacturer, and truss designer shall follow the publication "TPI 1-2014 National Design Standard for Metal Plate Connected Wood Truss Construction."
114. Truss supplier shall notify SER of any proposed revisions to the layout indicated on this plan. Revisions that affect the structural design will not be allowed without prior written approval by the SER.
115. Verify allowable bearing locations for girder trusses with SER prior to final design stage.
116. Provide metal bearing enhancers as necessary to utilize stud columns shown on plan.
117. All prefabricated wood trusses shall be furnished in accordance with designs prepared using the design loads and span conditions indicated, including designing gable end truss webs for perpendicular to face wind loads.
118. Truss manufacturer shall provide a truss layout and truss drawings prior to beginning construction. Trusses shall be designed for top and bottom chord superimposed dead and live loads as indicated above.
119. Truss supplier shall design trusses to support additional dead load from, but not limited to, sprinkler lines, rain leader systems, piping, cable trays, ductwork, kitchen islands, etc., as per IBC. Coordinate with architectural/mechanical/electrical as required. General contractor to verify location and magnitude of all such loads with truss supplier and SER prior to fabrication of trusses.
120. See architectural plans for attic draft stop locations and design roof trusses accordingly.
121. Live load deflection of roof trusses shall be limited to 1/360 of the span.
122. Provide L800 deflection limits for all individual bottom chord members between panel points.
123. Design trusses for top chord bearing or bottom chord bearing as shown on drawings.
124. Truss configuration, pitch, overhang, etc. shall be indicated on the architectural drawings.
125. Spacing of roof trusses shall not exceed 24" on center.
126. Lumber for wood trusses shall be in accordance with manufacturer's recommendations.
127. Truss manufacturer to provide girder trusses, hip jacks, and step-down trusses as required and designed to support all superimposed loads. Provide hip studs, dormers, and piggy-back trusses as required.
128. Truss manufacturer to specify if roof sheathing needs to be applied before placing "over-framing".
129. Provide metal framing anchors at truss bearing to mechanically fasten truss to bearing wall or supporting member as shown in details.
130. Truss manufacturer shall provide truss to truss connection hangers.
131. Bridging, and bracing of truss compression and tension members, shall be installed in accordance with the truss manufacturer's design and directions.
132. No cutting, notching, or modifications of trusses will be allowed without the manufacturer's written approval.

WOOD TRUSSES (continued)

133. Contractor shall provide permanent and temporary diagonal, lateral, and cross bracing in accordance with the publication "BCSI 2018 Building Component Safety Information, Guide to Good Practice for Handling, Installing and Bracing of Metal Plate Connected Wood Trusses" by the Truss Plate Institute and Wood Truss Council of America and as otherwise necessary. For spans longer than 60ft., contractor shall hire a structural engineer to design the necessary bracing.
134. Permanent bottom chord bracing and web bracing shall be located as shown on the truss drawings and shall be minimum 2 x 4 with 2 - 16d nails to end walls and trusses, lapping two truss spaces at splices.

ROOF SHEATHING

135. Roof sheathing shall be minimum 15/32" thick APA rated panels, rated for spacing of supporting members. A minimum of 32/16 span rating is recommended. Provide panel clips, one between each support, for supports spaced greater than 16" on center.
136. Provide Exterior or Exposure 1 grade. Panels shall be continuous over two or more spans, and long dimension of panel shall be perpendicular to supports. Fasten roof sheathing with 8d nails spaced at 4" on center at supported edges and 6" on center at intermediate supports. Leave an 1/8" gap at all end and edge joints to allow for expansion. Design of roof sheathing assumes that the roof will be properly insulated and ventilated. Refer to APA publication N353N "Proper Installation of APA Rated Sheathing for Roof Applications."

FLOOR SHEATHING

137. Floor sheathing shall be minimum 23/32" thick tongue and groove APA rated panels, rated for spacing of supporting members. A minimum of 48/24 span rating is recommended. Provide Exposure 1 grade.
138. Panels shall be continuous over two or more spans, and long dimension of panel shall be perpendicular to supports. Fasten sheathing with construction adhesive and 8d nails spaced at 4" on center at supported edges and 6" on center at intermediate supports.

LVL WOOD MEMBERS

139. LVL members noted on drawings are engineered laminated veneer lumber as manufactured by the Weyerhaeuser Company. Alternate at contractor's option of equal design properties. Sizes shown on plan are actual size.

PSL WOOD MEMBERS

141. PSL members noted on drawings are engineered parallel strand lumber as manufactured by the Weyerhaeuser Company. Alternate at contractor's option of equal design properties. Sizes shown on plan are actual size.

LSL WOOD MEMBERS

143. LSL members noted on drawings are engineered laminated strand lumber as manufactured by the Weyerhaeuser Company. Alternate at contractor's option of equal design properties. Sizes shown on plan are actual size.

ADHESIVE/EXPANSION ANCHORS

145. Adhesive and expansion anchors shall be provided and installed in strict accordance with the manufacturer's instructions. Adhesive anchoring system to be Simpson SET XP adhesive. Concrete screws shall be Simpson Titen. Alternate anchoring system may be submitted for approval. "Fast Set epoxy" is not permitted. Reference drawings for additional information and requirements.

ABBREVIATIONS KEY:

&-	AND	INSUL.	-INSULATION
@-	AT	INT.	- INTERIOR
ADD.	ADDITIONAL	L.L.	- LOWER LEVEL
B.O.	BOTTOM OF	MANU.	-MANUFACTURER
BOT.	BOTTOM	MAX.	- MAXIMUM
B.TWN.	BETWEEN	MIN.	- MINIMUM
B.W.	BOTH WAYS	MIR.	- MIRROR
CAB.	CABINET/CABINETS	M.L.	- MAIN LEVEL
CANT.	CANTILEVER	M.O.	- MASONRY OPENING
CLR.	CLEARANCE	MTG.	- MEETING
CMU	CONCRETE MASONRY UNIT	MULL.	- MULLION
CNTR.	CENTERED	O.C.	- ON CENTER
CONC.	CONCRETE	PERP.	- PERPENDICULAR
CONT.	CONTINUOUS	PLY.	- PLYWOOD
D. FIR	DOUGLAS FIR	P.T.	- PRESSURE TREATED
DIA.	DIAMETER	REF.	- REFRIGERATOR
DL	DEAD LOAD	REQ.	- REQUIRED
DR.	DOOR	R.O.	- ROUGH OPENING
E.E.	EACH END	SIM.	- SIMILAR
EL.	ELEVATION	SL.	- SNOW LOAD
EQ.	EQUAL	SQ.FT.	- SQUARE FEET
E.S.	EACH SIDE	S.S.	- STAINLESS STEEL
E.W.	EACH WAY	S.S.T.	- SIMPSON STRONG-TIE
EXP.	EXPOSURE	STAG.	- STAGGER
EXT.	EXTERIOR	STD.	- STANDARD
F.F.	FINISHED FLOOR	T&G	- TONGUE AND GROOVE
FIN.	FINISHED	T.B.D.	- TO BE DETERMINED
FL.	FLOOR	T.O.	- TOP OF
FND.	FOUNDATION	TYP.	- TYPICAL
F.O.	FACE OF	U.N.O.	- UNLESS NOTED OTHERWISE
FR.	FRENCH	U.L.	- UPPER LEVEL
FTG.	FOOTING	V.B.	- VAPOR BARRIER
GALV.	- GALVANIZED	W/-	- WITH
H.	HEIGHT	W.	- WIDTH
I.F.	INSIDE FACE	W/O	- WITHOUT
INFO.	- INFORMATION	WDW.	- WINDOW

wallace

ARCHITECTURE, PLLC

311 Third Street

Excelsior, MN 55331

952.913.9641

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NOT FOR CONSTRUCTION

the SHAMBOUR GARAGE addition + remodel

Bernie + Karen Shambour
209 Playhouse Street East
Cologne, MN 55322

NOT FOR CONSTRUCTION

Sheet Size: 24 x 36

Project Number: 2214

Project Architect: Dan Wallace

Drawn By: Dan Wallace

Date of Issue: 21 AUG 2023

Review 3 - 17 AUG 2023

Review 2 - 8 AUG 2023

Permit 1 - 24 MAY 2023

Engineer 2 - 22 MAY 2023

01

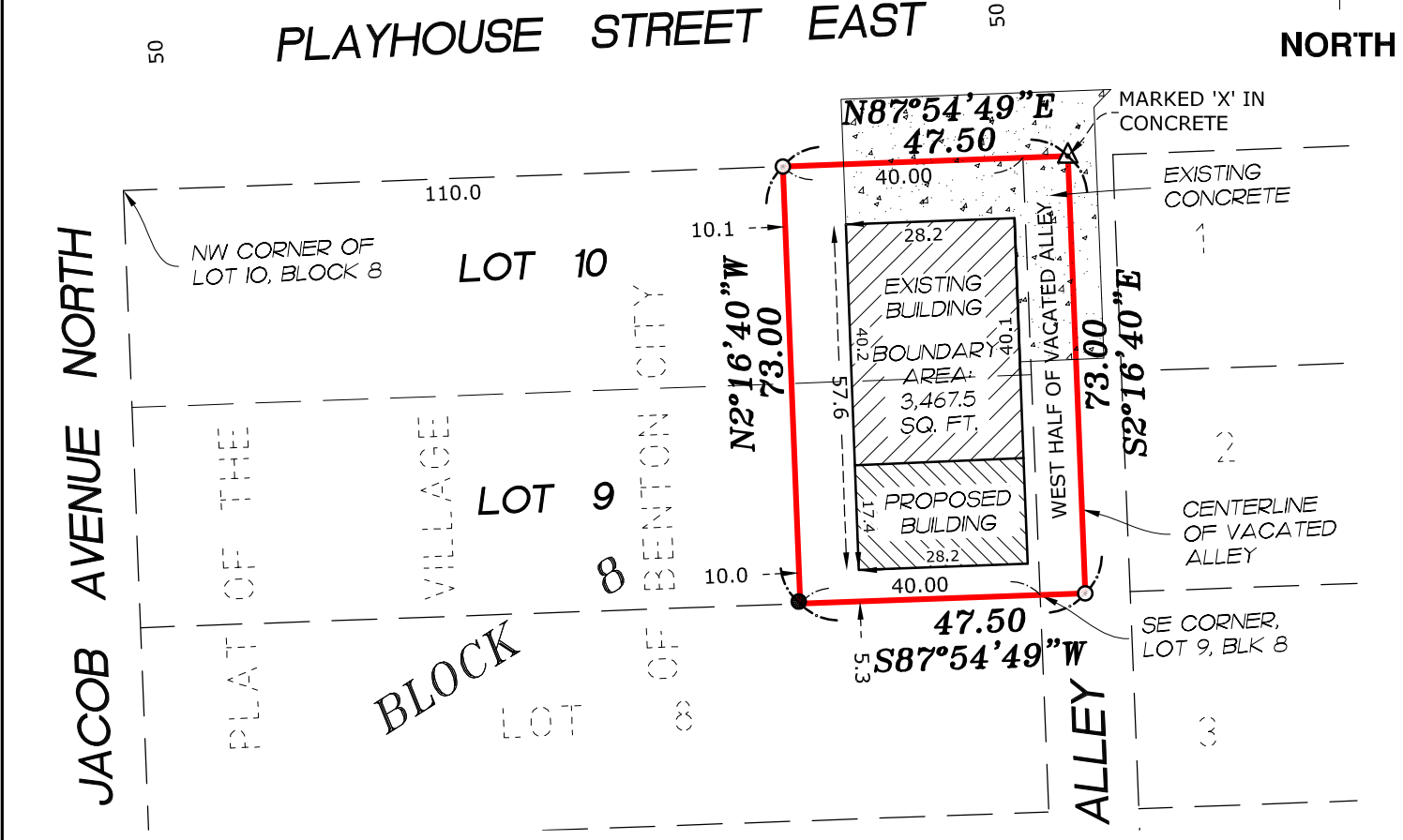
CERTIFICATE OF SURVEY

~for~ Karen M. Shambour Trust

~Part of~ Lots 9 & 10, Block 8 & part of the vacated Alley in Block 8, CITY

LOTS OF COLOGNE

209 Playhouse Street East, Cologne, MN



EXISTING IMPERVIOUS SURFACE COVERAGE	PROPOSED IMPERVIOUS SURFACE COVERAGE
LOT AREA 3,467.50 S.F.	LOT AREA 3,467.50 S.F.
EXISTING BUILDING 1,128.56 S.F.	PROPOSED BUILDING ADD. 493.43 S.F.
EXISTING CONCRETE 597.10 S.F.	EXISTING IMPERVIOUS 1,725.66 S.F.
TOTAL IMPERVIOUS 1,725.66 S.F.	PROPOSED TOTAL IMPERVIOUS 2,219.09 S.F.
	64.0% OF LOT

BOUNDARY DESCRIPTION
Commencing at a point 110 feet east of the northwest corner of Lot Number Ten, (10), Block Number Eight, (8), thence running east 40 feet; thence running south 73 feet; thence running west 40 feet; thence running north 73 feet to place of beginning, being the east forty feet of Lots Nine (9), and Ten (10), Block Eight (8), in the Village of Cologne.
ALSO
The West Half of the vacated alley in Block 8, Plat of the Village of Benton City, according to the record plat thereof, now City or Village of Cologne, lying adjacent to Lots 9 and 10 of said Block 8.
* Alley vacated per City of Cologne Resolution 21-01, Recorded Jan 25, 2021, as Doc. No. A716175

SCALE: 1" = 30'	BEARING DATUM: Assumed	JOB NO. 20.1163LS	DRAWN BY: KDN	CREW: JWM
I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.				
By: <i>Karen M. Shambour</i> Minnesota License No. 45356				
Dated 30th day of June, 2023.				

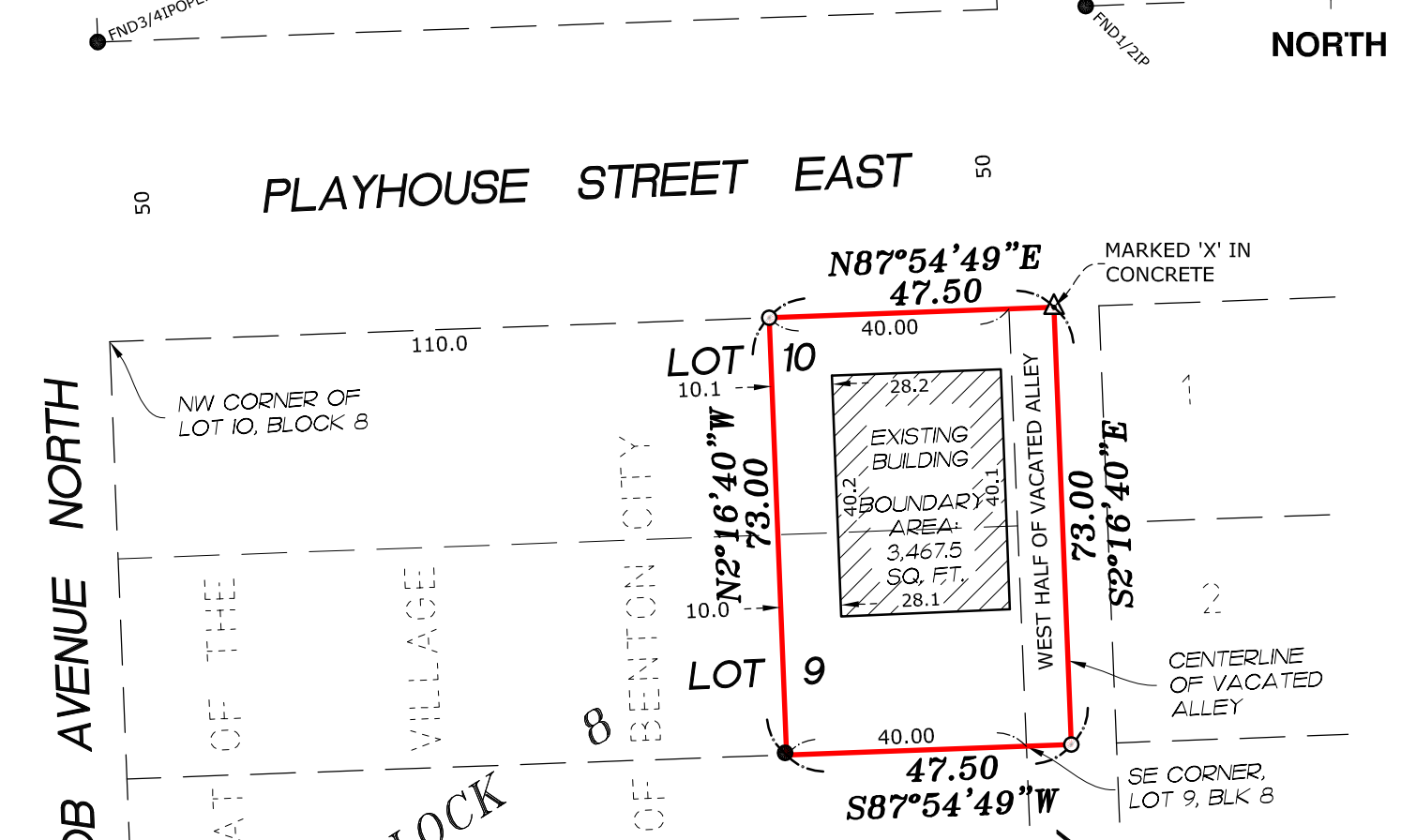
CERTIFICATE OF SURVEY

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LOTS OF COLOGNE

209 Playhouse Street East, Cologne, MN

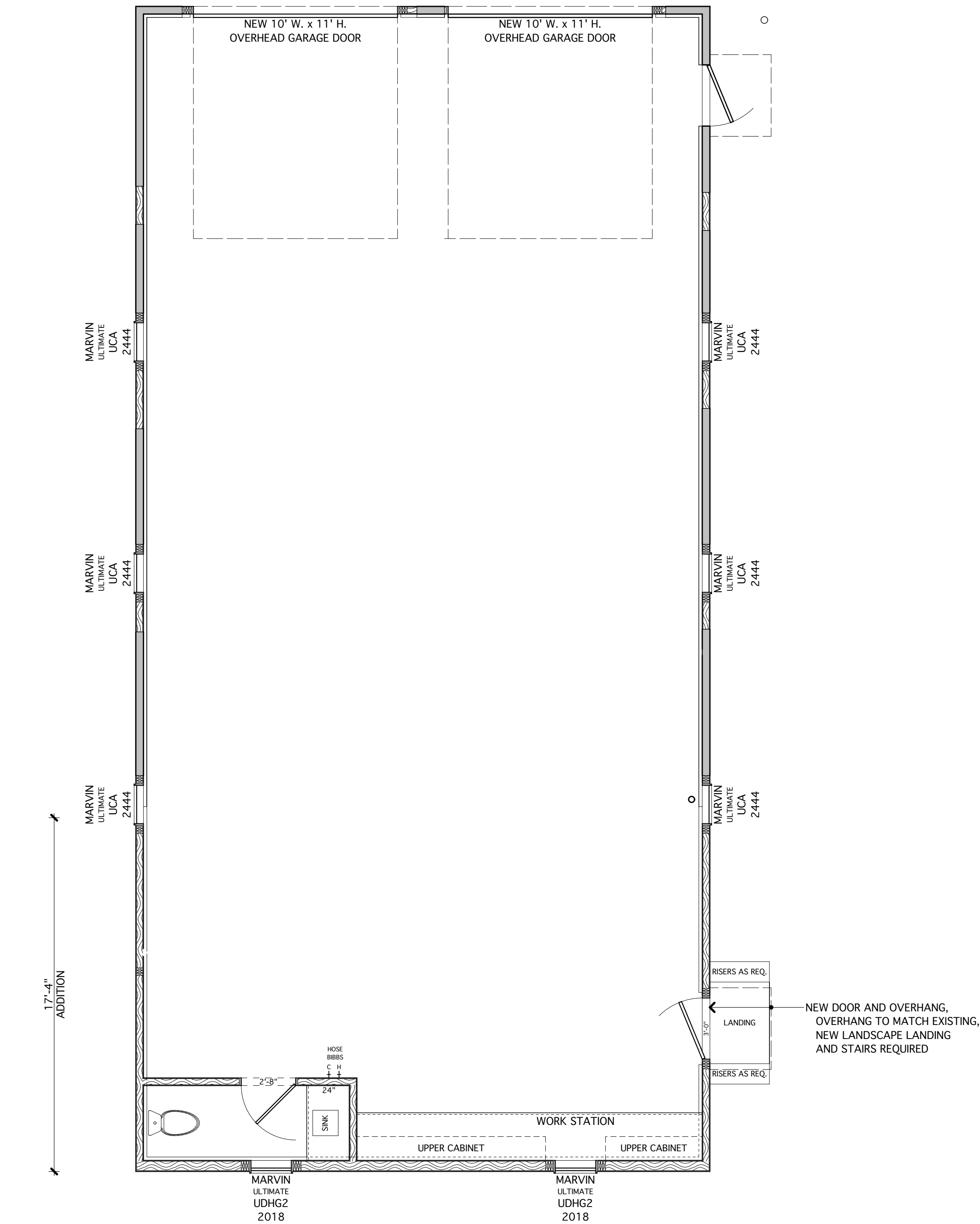


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SCALE: 1" = 30'	BEARING DATUM: Assumed	JOB NO. 20.1163LS	DRAWN BY: KDN	CREW: JWM
I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.				
By: <i>Karen M. Shambour</i> Minnesota License No. 45356				
Dated 4th day of April, 2023.				

GENERAL NOTES:
01. FIELD VERIFY EXISTING DIMENSIONS RELEVANT TO CONSTRUCTION PRIOR TO CONSTRUCTION. CONTACT ARCHITECT WITH ANY DISCREPANCIES AND/OR QUESTIONS PRIOR TO CONSTRUCTION.
02. DO NOT SCALE DIMENSIONS OFF OF DRAWINGS FOR CONSTRUCTION. CONTACT THE ARCHITECT WITH ANY QUESTIONS ON DIMENSIONS PRIOR TO CONSTRUCTION.
03. FIELD VERIFY ALL EXISTING LOAD BEARING CONDITIONS PRIOR TO DEMOLITION. BRACE AND SUPPORT ALL EXISTING CONDITIONS TO REMAIN AS REQUIRED DURING DEMOLITION AND THROUGHOUT CONSTRUCTION.
04. UNLESS NOTED OTHERWISE, WHERE GIVEN, DIMENSIONS ARE TO FACE OF STUD.



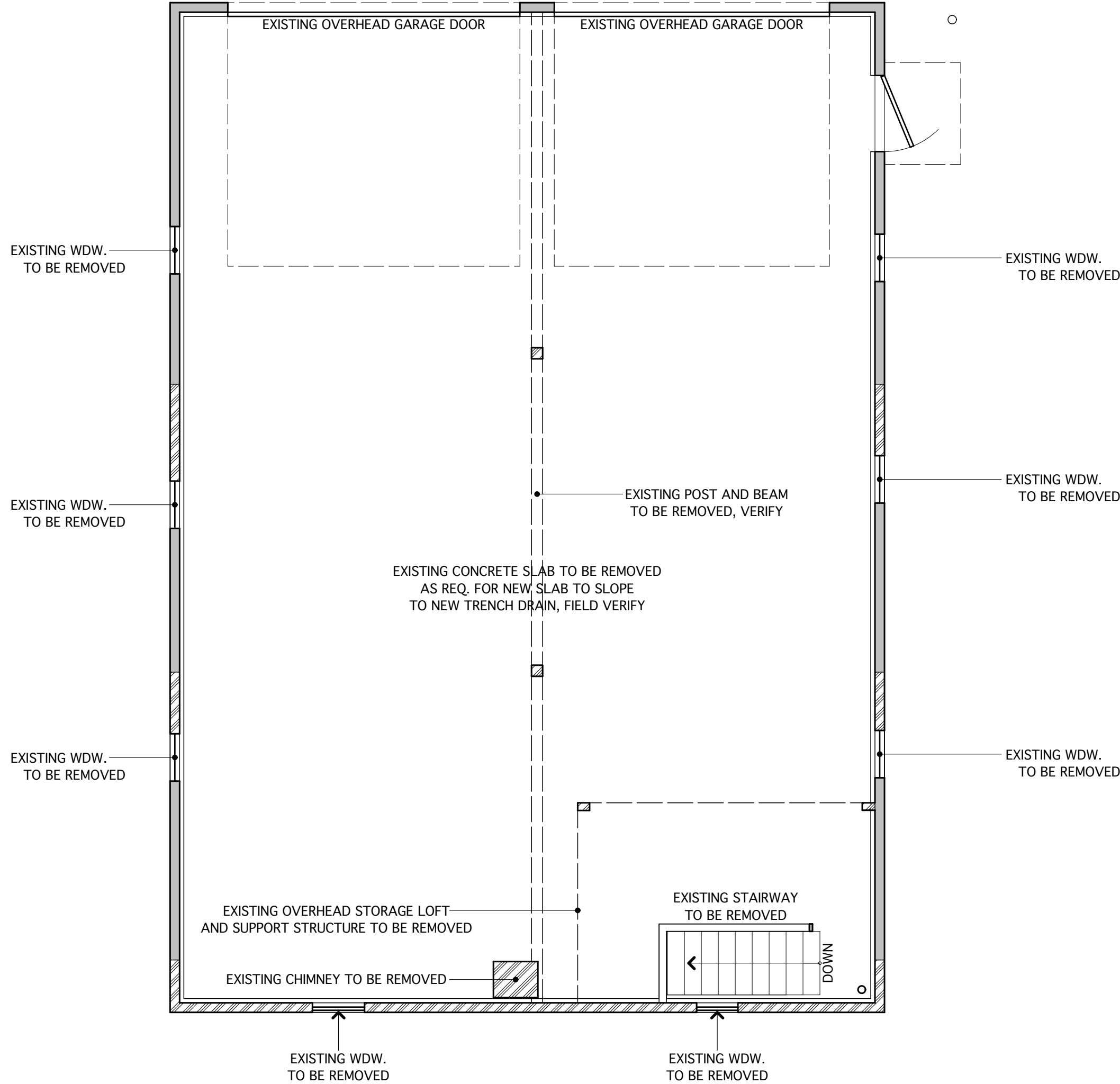
WALL KEY
EXISTING WALL TO REMAIN =
NEW 2 x WOOD STUD WALL =

2
02

PLAN - main level addition + remodel

SCALE: 1/4" = 1'-0"

GENERAL NOTES:
01. FIELD VERIFY EXISTING DIMENSIONS RELEVANT TO CONSTRUCTION PRIOR TO CONSTRUCTION. CONTACT ARCHITECT WITH ANY DISCREPANCIES AND/OR QUESTIONS PRIOR TO CONSTRUCTION.
02. DO NOT SCALE DIMENSIONS OFF OF DRAWINGS FOR CONSTRUCTION. CONTACT THE ARCHITECT WITH ANY QUESTIONS ON DIMENSIONS PRIOR TO CONSTRUCTION.
03. FIELD VERIFY ALL EXISTING LOAD BEARING CONDITIONS PRIOR TO DEMOLITION. BRACE AND SUPPORT ALL EXISTING CONDITIONS TO REMAIN AS REQUIRED DURING DEMOLITION AND THROUGHOUT CONSTRUCTION.



WALL KEY
EXISTING WALL TO REMAIN =
EXISTING WALL TO BE REMOVED =

1
02

PLAN - main level existing + demolition

SCALE: 1/4" = 1'-0"

These documents are instruments of service, and, as such, remain the property of wallace ARCHITECTURE, PLLC. Use or publication of these documents requires written approval from wallace ARCHITECTURE, PLLC.

NOT FOR
CONSTRUCTION

the SHAMBOUR GARAGE addition + remodel
Bernie + Karen Shambour
209 Playhouse Street East
Cologne, MN 55322

NOT FOR
CONSTRUCTION

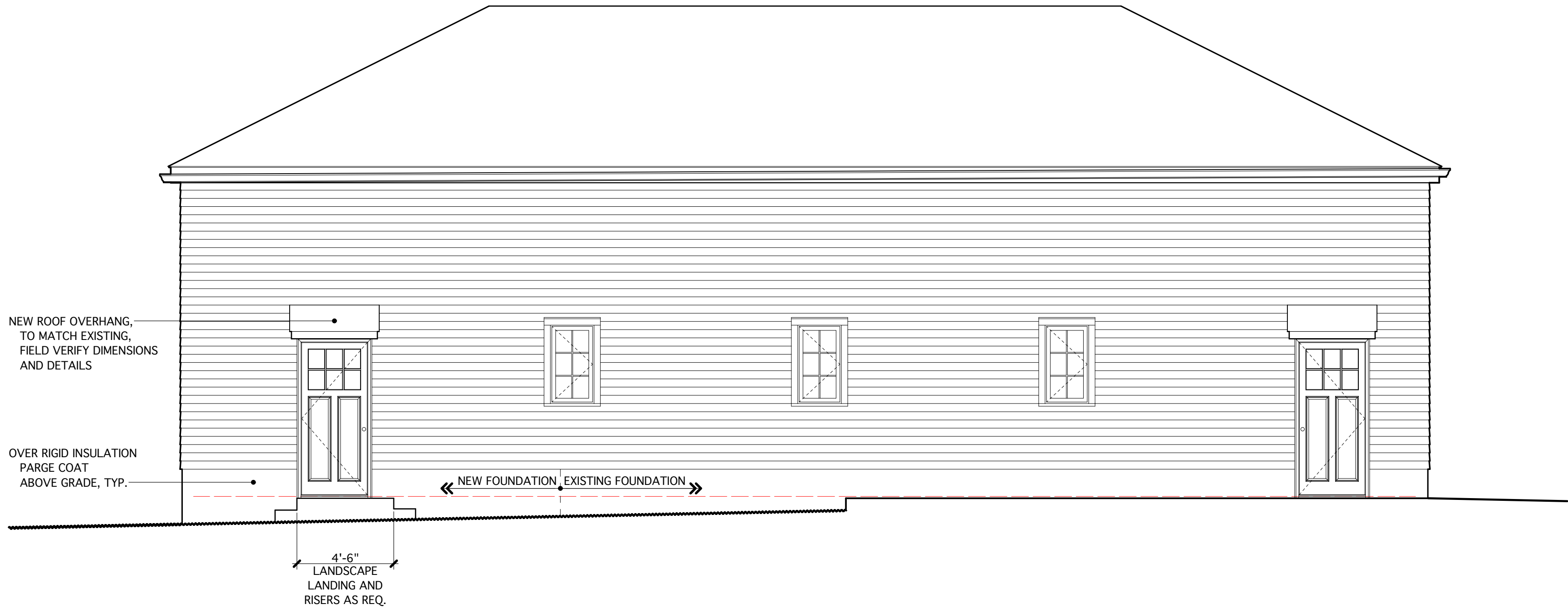
Sheet Size: 24 x 36

Project Number: 2214

Project Architect:
Dan Wallace

Drawn By:
Dan Wallace

Date of Issue:
21 AUG 2023
Review.3 - 17 AUG 2023
Review.2 - 8 AUG 2023
Permit.1 - 24 MAY 2023
Engineer.2 - 22 MAY 2023



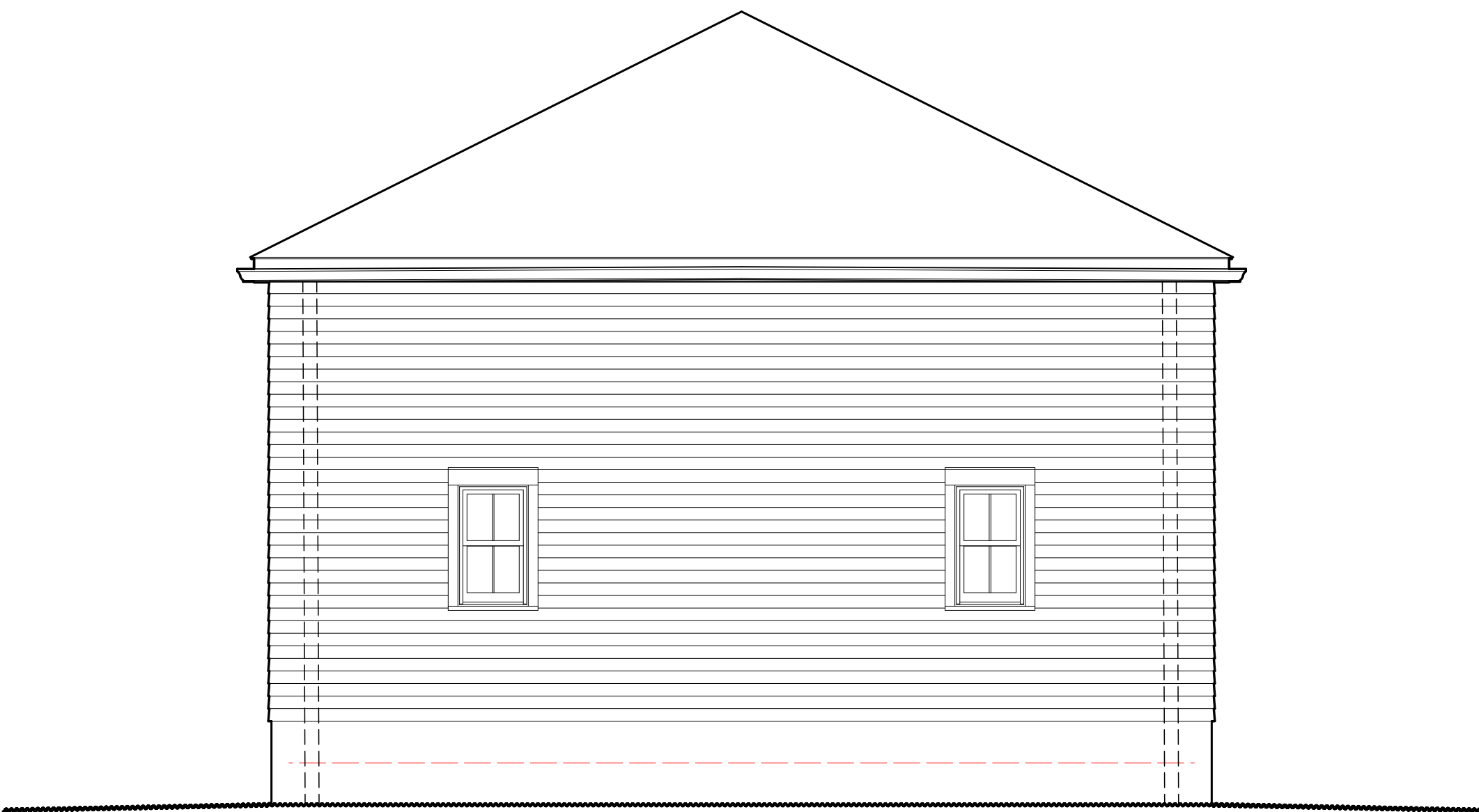
EXTERIOR ELEVATION - east
SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION - north
SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION - west
SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION - south
SCALE: 1/4" = 1'-0"

CERTIFICATE OF SURVEY

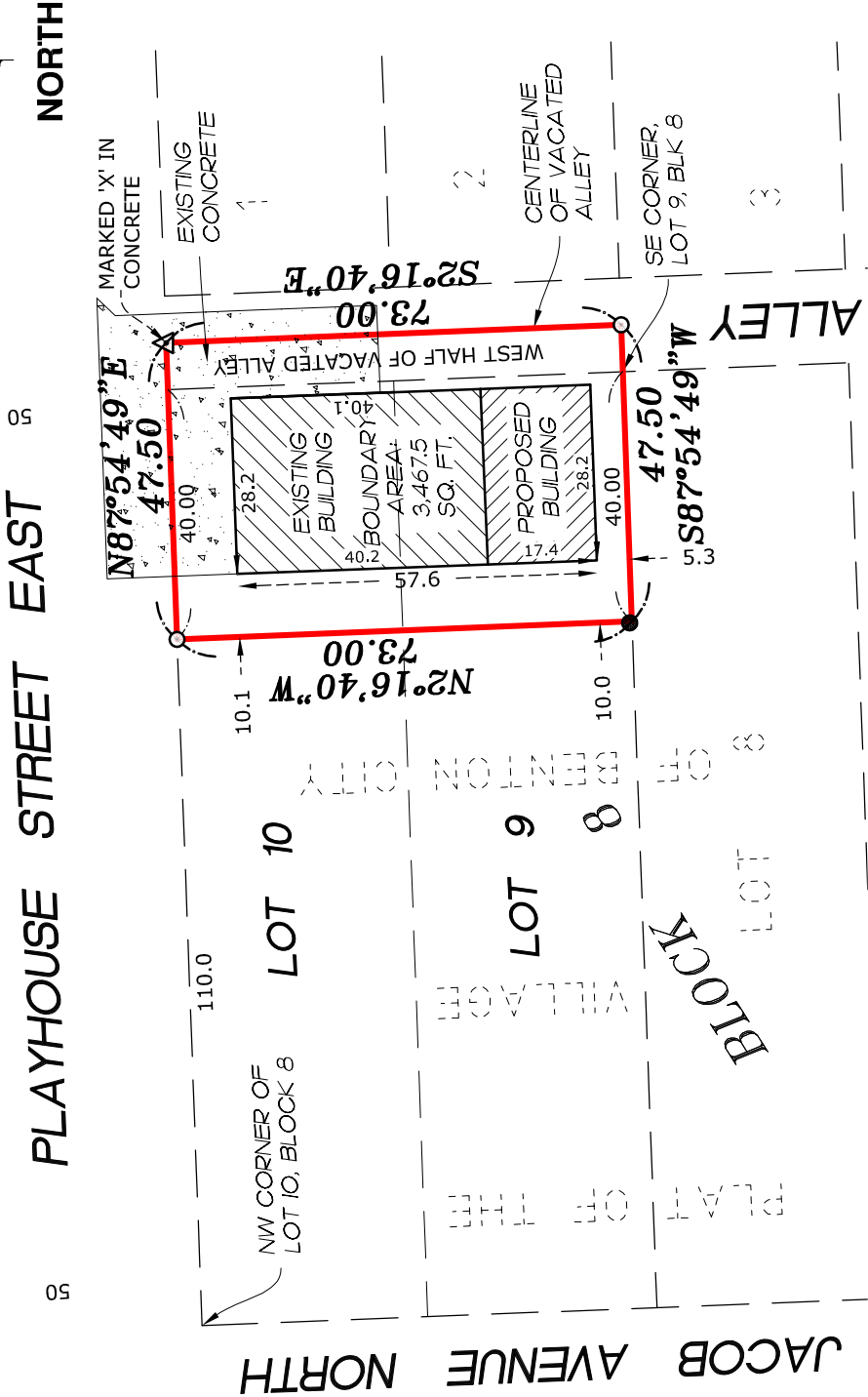
~for~ Karen M. Shambour Trust

~Part of~ Lots 9 & 10, Block 8 & part of the vacated Alley in Block 8, CITY LOTS OF COLOGNE

209 Playhouse Street East, Cologne, MN

LEGEND

- DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET



EXISTING IMPERVIOUS SURFACE COVERAGE

LOT AREA	3,467.50 S.F.
EXISTING BUILDING	1,128.56 S.F.
EXISTING CONCRETE	597.10 S.F.
TOTAL IMPERVIOUS	1,725.66 S.F.
	50% of LOT

PROPOSED IMPERVIOUS SURFACE COVERAGE

LOT AREA	3,467.50 S.F.
PROPOSED BUILDING ADD.	493.43 S.F.
EXISTING IMPERVIOUS	1,725.66 S.F.
PROPOSED TOTAL IMPERVIOUS	2,219.09 S.F.
	64.0% of LOT

BOUNDARY DESCRIPTION

Commencing at a point 110 feet east of the northwest corner of Lot Number Ten, (10), Block Number Eight, (8),

thence running east 40 feet;

thence running south 73 feet; thence running west 40 feet;

thence running north 73 feet to place of beginning, being the east forty feet of Lots Nine (9), and Ten (10), Block Eight (8), in the Village of Cologne.

ALSO

The West Half of the vacated alley in Block 8, Plat of the Village of Benton City, according to the record plat thereof, now City or Village of Cologne, lying adjacent to Lots 9 and 10 of said Block 8.

* Alley vacated per City of Cologne Resolution 21-01, Recorded Jan 25, 2021, as Doc. No. A716175

SCALE: 1" = 30' BEARING DATUM: Assumed

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated 30th day of June, 2023.

By: *[Signature]* Minnesota License No. 45356

JOB NO. 20.1163LS			
DATE: 4/04/2023			
REVISIONS			
1	16FEB21	ALLEY	KN
2	30JUN23	IMPERVIOUS	KN
3	17AUG23	REVISE ADD.	SM
4			
#	DATE	DESCRIPTION	BY

E.G. RUD & SONS, INC.
PROFESSIONAL LAND SURVEYORS
335 Main Ave., P.O. Box 988
Gaylord, MN 55334
TEL. (507) 237-5212
www.egrud.com

L-B

**CITY OF COLOGNE
CARVER COUNTY, MINNESOTA
RESOLUTION NO. 24-12**

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR 209
PLAYHOUSE STREET FOR AN EXPANSION OF A NON-CONFORMING USE**

WHEREAS, the City of Cologne is a Minnesota Municipal Corporation, duly organized and authorized to conduct its affairs under the laws of the State of Minnesota; and

WHEREAS, the Karen M. Shambour Trust (the “Owner”) is the owner of certain real property located in the City of Cologne, State of Minnesota, and located at 209 Playhouse Street and legally described as follows:

Commencing at a point 110 feet east of the northwest corner of Lot Number Ten, (10), Block Number Eight, (8), thence running east 40 feet; thence running south 73 feet; thence running west 40 feet; thence running north 73 feet to place of beginning, being the east forty feet of Lots Nine (9), and Ten (10), Block Eight (8) in the Village of Cologne.

ALSO

The West Half of the vacated alley in Block 8, Plat of the Village of Benton City, according to the record plat thereof, now City or Village of Cologne, lying adjacent to Lots 9 and 10 of said Block 8

(the “Subject Property”); and

WHEREAS, the Planning Commission of the City did on March 6, 2024, conduct a public hearing in relation to the Owner’s request for a Conditional Use Permit; and

WHEREAS, the Planning Commission of the City did on March 6, 2024 recommend approval of the Conditional Use Permit to the City Council; and

NOW, THEREFORE, BE IT RESOLVED the Conditional Use Permit to allow the expansion of an existing non-conforming use is subject to the following conditions:

1. The only use permitted for the Subject Property is storage. No other use of the property is permitted except those as permitted in the Cologne Zoning Ordinance as amended from time to time.
2. The site must be constructed in substantial compliance with the Certificate of Survey prepared by E.G. Rud and Sons, Inc. dated August 17, 2023 and the building plans

prepared by Wallace Architecture, PLLC dated August 21, 2023. The plans may not be amended unless revised plans are approved in conformance with city ordinances.

3. The use and site shall be in compliance with all requirements of the zoning ordinance, as amended from time to time.
4. The use and site shall be in compliance with any Federal, State or County law or regulation that is applicable and any related permits shall be obtained and documented to the City.

Adopted and approved by the City Council of the City of Cologne on a vote of ____ ayes and ____ nays effective on the 11th day of March, 2024.

Approved:

Matt Lein
Mayor

Attested:

Michelle Morrison
City Administrator/Clerk

M/_____

Lein_____

Szaroletta_____

Kells_____

S/_____

Bruss_____

Samuelson_____

DRAFTED BY:

Collaborative Planning, LLC
PO Box 251
Medina, MN 55340
763-473-0569



Memo

To: Mayor Lein and Council Members

From: Michelle Morrison – City Administrator

Date: March 11, 2024

Re: Administrator Update

Following are highlights of my activity since the February 20th Council meeting:

Audit work continues. Staff from Abdo were in our offices the week of Feb 19. Majority of work has been completed with a goal of a published audit by end of April.

Mr. Pokorney reached out as to next steps for the concept plan for Outlot A suggesting that the City agree to a general non-binding letter of understanding related to Tax Increment Financing for the project. I've had TEAMS meetings with Cindy Nash and Doug Green from Baker Tilly our financial consultants and advised Mr. Pokorney that he would hear more from us at a later date.

Working with Drayton Arnold from Bolton & Menk on the PFA Loan Application Checklist for the WWTP upgrade - Res No 24-10 in this packet.

Worked with Paul Modeen on the pass thru Grant Submission to Carver County – Res No 24-11 in this packet.

Worked with Melissa Reed from Park Street Public whom we hired to help move our WWTP upgrade forward at the capital. In addition to the 15 million total project, there was a problem with last year's bonding language that was intended to provide us the funds for the WWTP design phase. While we have committed to and spent to date \$460,000 of the \$900,000 total design cost, we are not able to access the \$1 million provided in last year's bill. We are seeking

a change in the bills language to allow us access to the \$1 million. Following is a quote from Melissa that I received last week:

“I spoke with House Capital Investment Committee staff today and they confirmed receipt of our request for a language change. They acknowledged the issue and said the fix will be in their bonding bill this year. In the meantime, I’ll communicate that update to Becky at PFA as well.”

The Presidential Nominating Primary was held at Community Center all day March 5. 166 votes were cast. We had 2 new election workers sign up who had received training and worked with the other 8 seasoned election workers we had on hand.

Worked with Loomis and our attorney Christophe to secure the release of a blanket easement for the developed lots in Winkler 5th, while keeping it in place for the undeveloped lots – Resolution will be on the agenda in April.

Working with Jake Saulsbury at Bolton & Menk and Felicia at the EPA in completing required paperwork for submission for the Water Tower Grant Funds.

Visited with Paul Moline as Carver County Water Management and have a team’s meeting set up next week with him and Jake Saulsbury to discuss the following:

- Modern Design Cabinet stormwater permitting
- M&M homes stormwater permitting
- Other permitting issues
- Water softener rebate program
- Turf to native cost share opportunities
- Other education needs

Emailed and left voice mails for Principle Properties regarding blighted property at 501 Louis St W. Have not been successful in having a conversation or getting a response.

Feel Free to reach out with any questions.



City of Cologne
January 2024



Carver County Sheriff's Office
Monthly Calls for Service
From: 01/01/2024 To: 01/31/2024

Cologne City

Patrol

A Offense

Agg. Assault	1
Drug Violation	1
Pornography	1

Total A Offense:	3
-------------------------	----------

Non Criminal

Misc Non-criminal	5
Unlock Vehicle/bldg	1
Alarm	1
Abuse/Neglect (Info Only)	1
Animal	1
Medical Calls Received	11
Fire Calls Reveived	1
Suspicious Activity	2
Disturbance (Info Only)	3

Total Non Criminal:	26
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Traffic

Traffic - Misc	1
Traffic Stop	21
Pd Accident	2

Total Traffic:	24
-----------------------	-----------

Total Patrol: 53

Administrative

Administrative

GunPermit-Acquire	1
GunPermit-CarryNew	2

Total Administrative:	3
------------------------------	----------

Total Administrative: 3

Total Cologne City: 56



Carver County Sherff's Office
Arrest Summary
For: Cologne City
From: 01/01/2024 To: 01/31/2024

Cologne City

13A - Aggravated Assault
13B - Simple Assault
35A - Drug/Narcotic Violations
90Z - All Other Offenses

Total Charges	Total Arrestees	Total Incidents
1	1	1
1	0	0
1	1	1
1	0	0
4	2	2

Totals for Cologne City



Carver County Sherff's Office

Traffic Citation Summary

From: 01/01/2024 To: 01/31/2024

Cologne City

DAS, DAR, DAC:	1
Expired Tabs:	1
No Proof Of Insurance:	1
Speed:	1
Total Cologne City:	4



Carver County Sheriff's Office
Verbal Warnings
From: 01/01/2024 to 01/31/2024

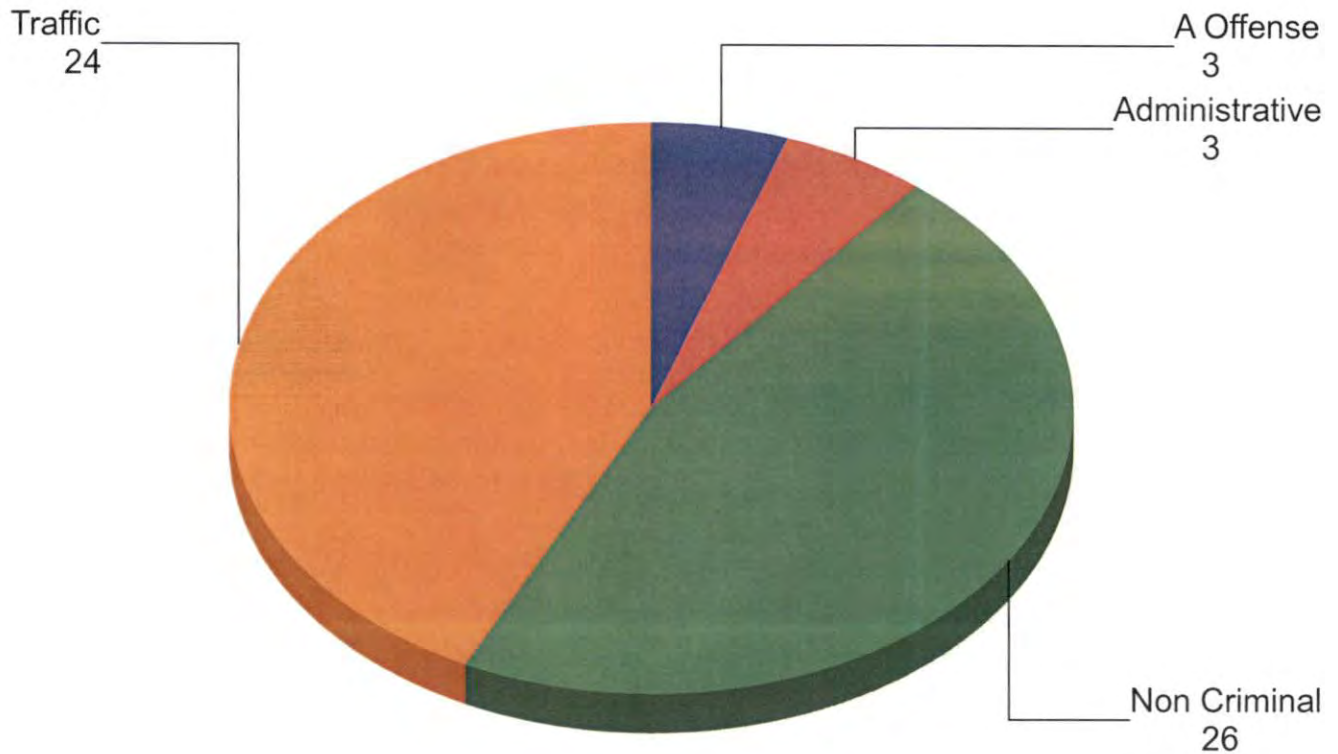
Cologne City

Traffic Stop:	18
Grand Total Verbal Warnings:	18



Carver County Sheriff's Office
Monthly Calls for Service
From: 01/01/2024 To: 01/31/2024

Cologne City



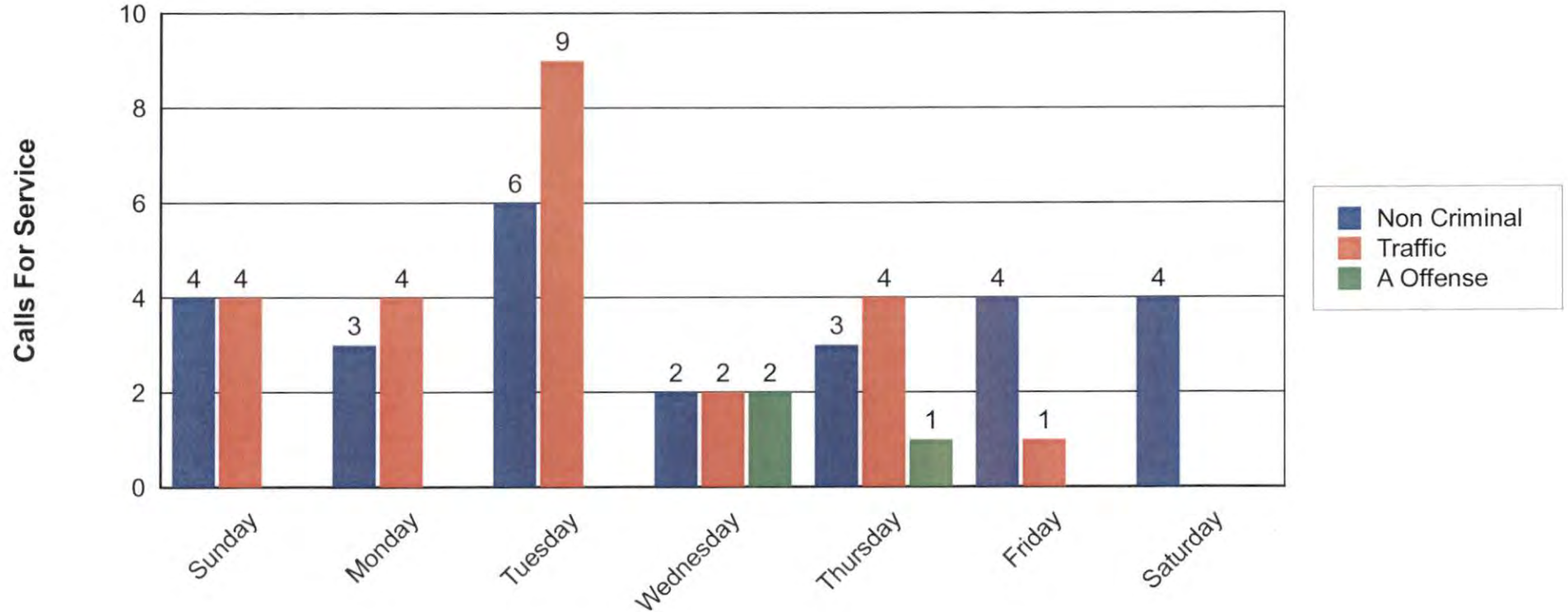
Total A Offense:	3
Total Non Criminal:	26
Total Traffic:	24
Total Administrative:	3

Total Cologne City: 56



Carver County Sheriff's Office
Day of Week Analysis of Calls for Service
Patrol Activity
From: 01/01/2024 To: 01/31/2024

Cologne City

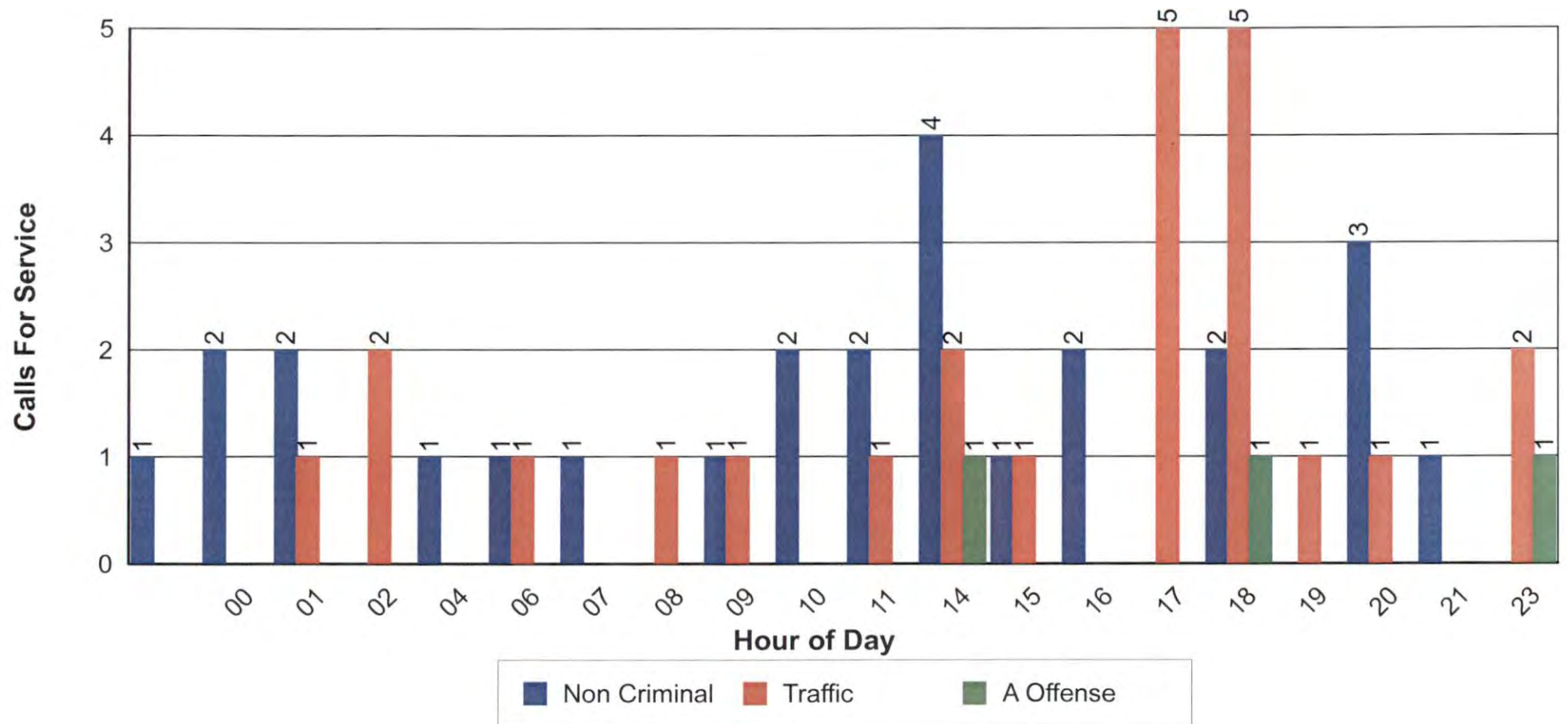


Total Cologne City: 53



Carver County Sheriff's Office
Hour of Day Analysis of Calls for Service
Patrol Activity
From: 01/01/2024 To: 01/31/2024

Cologne City



Total Cologne City: 53



Carver County Sheriff's Office
CSO Calls For Service
From: 01/01/2024 To: 01/31/2024
Cologne City

<u>Incident Nr</u>	<u>Status Name</u>	<u>Activity</u>	<u>Start Time</u>	<u>End Time</u>	<u>Minutes Spent</u>	<u>Running Total Minutes</u>
202400001077						
741CS						
202400001077	Enroute	Animal	01/12/2024 2:55:47PM	01/12/2024 2:55:50PM	0.05	0.05
202400001077	Scene	Animal	01/12/2024 2:55:50PM	01/12/2024 3:08:13PM	12.38	12.43
202400001077	Available	Animal	01/12/2024 3:08:13PM	01/12/2024 3:08:13PM	0.00	12.43
202400001467						
733CS						
202400001467	DISP	Medical	01/17/2024 11:41:27AM	01/17/2024 11:41:57AM	0.50	12.93
202400001467	Scene	Medical	01/17/2024 11:41:57AM	01/17/2024 11:56:27AM	14.50	27.43
202400001467	Available	Medical	01/17/2024 11:56:27AM	01/17/2024 11:56:27AM	0.00	27.43

Total Minutes: 27.43

Activity Code NIBRS - Activity Codes

Activity Code	Descriptor	
GROUP A		
AC	Animal Cruelty	Abuse or neglect of animal
AR	Arson	Intentionally destroy property by fire
A	Assault	Altercation between parties where physical harm occurred
AA	Aggravated Assault	Assault where substantial injury is caused or weapon used
BB	Bribery	Offering, giving, receive anything of value to sway judgement
B	Burglary	Unlawful entry into a structure to commit a crime
CF	Counterfeiting/Forgery	Alter, copy, imitation, passing a copy as an original
P	Property Damage	All damage to property
D	Drugs	All drug violations, possession of, sale of, manufacture of
EM	Embezzlement	Misappropriation of money, property entrusted to person
EX	Extortion/Blackmail	Unlawful obtain money, property by use or threat of force
U	Fraud	Intentional perversion of truth to obtain money or property
G	Gambling	Unlawful operate, promote or assist in operation of gambling
H	Homicide	Intentional taking of a persons life
HT	Human Trafficking	Induce a person to perform sex act or labor via force, fraud or coercion
K	Kidnapping	Unlawful seizure, transport or detain person against their will
T	Theft/larceny	Taking of property, stealing
V	Motor Vehicle Theft	Theft of a motorized vehicle
PO	Pornography	Manufacture, publish, sell, buy, possess sexually explicit material
PR	Prostitution	Unlawfully engage in or promote sexual activity for anything of value
R	Robbery	Taking of property by use of force
S	Sex Offenses	Forcible sexual assault
SN	Sex Offenses, Nonforcible	Nonforcible sexual intercourse (incest, statutory rape)
SP	Stolen Prop Offenses	Receive, buy, sell, possess, conceal, transport known stolen property
W	Weapons	Violation of manufacture, sale purchase, transport, use firearm

GROUP B		
BC	Bad Checks	Intentional issuance of check against insufficient or nonexistent funds
CL *	Curfew/Loitering	Curfew violation/ person remain in area w/o visible means of support
DP *	Disorderly Conduct	Behavior tends to disturb public peace/shock public sense of morality
J	Driving Under Influence	Traffic stop or accident involving drive under influence
DR *	Drunkness	Drink alcohol to extent substantial impairs mental and physical function
FO	Family Offense, Non violent	Unviolent acts by family member against another family member
LV	Liquor Law Viol	Illegal consumption, sale, possession of liquor
PT *	Peeping Tom	Secretly look in windows, doorway, keyhole for purpose of voyeurism
RU	Runaway	Juvenile runaway
TR *	Trespassing	Unlawfully enter land, dwelling or other real property
M	All Other Offenses	OFP/Danco violation, Traffic - Hit & run accident
		All other offense not included in other A & B classifications
O *	Ordinances	Laws/rules created by county or cities.
*		Use only when Enforcement used (citation or arrest)

Activity Codes
Non-criminal, Traffic and Administrative

NON CRIMINAL		
Code	Description	
1	Misc. NonCriminal	Gen law enforcement questions: citizen assists, lost and found property, civil disputes, juvenile disciplinary issues, etc
2	Unlock Veh/Bldg	Unlock doors of automobile, residence or business for owners
3	Alarm	Checking on an alarm at a private residence or business
4	Domestic	Verbal argument between parties. Must have relationship. No charges
5	Missing Person	Missing / Lost person (not runaway)
6	Abuse/Neglect - Info only	Abuse or neglect of children or adults
9	Animal	Animal bites, stray animals. All calls involving animals
10	Medical	Assist persons with medical issues, natural cause deaths
11	House/Business Check	Check on residences or business when owners are away from property
12	Assist other Agency	Assist other law enforcement, state patrol, govt depts, EMT or medical
13	Fire Call	Fires and assist to fire departments
15	Mental Health	Suicides, 72 hr holds for mental health issues
16	Civil Process	Service of civil papers. Assist with civil standby situations
17	Transport	Transport persons for various reasons.
19	Warrant Service	Service of warrant for Carver County and other counties.
20	Boat & Water	All incidents involving boats, watercraft and/or lakes
21	Snowmobile	All incidents involving snowmobiles
22	ATV	All incidents involving ATV
30	Suspicious Activity	Suspicious persons, acts or vehicles. Accidental 911 calls
31	Open Door	Located an open door to a business or residence
34	Drug - Info Only	Drug information only
35	Disturbance - Info Only	Noise complaint, disturbing peace
60	Child Custody Dispute	Incidents involving dispute over child custody

TRAFFIC RELATED		
Code	Description	
8	Traffic - Misc	Misc. traffic issues, stalled vehicle, debris on roadway, traffic control, veh in ditch, assists, all parking issues
38	Traffic - Stops	All traffic stops initiated by officers
50	Auto Accd - Prop Damage	Auto accident in which only property damage occurred
51	Auto Accd - MV vs deer	Auto accident involving a motor vehicle and deer
52	Auto Accd - Injury	Auto accident in which injury and property damage occurred
54	Auto Accd - Fatality	Auto accident in which a fatality occurred
80	Driving Complaint	Complaints of bad driving behavior.

ADMINISTRATIVE

Code	Description	
0	Call Error	Calls for service created in error
18	Warrant Issued	Warrant issued by Carver County Court Administration
23	Explosive/Firearm Dealer	Application for a permit for explosives or firearms dealer license.
24	Gun Permit - Acquire	Application for a permit to purchase a handgun.
25	Gun Permit - Carry (new)	Application for a permit to carry a handgun.
26	Gun Permit - Transfer	Application for the transfer of a reg. gun from one individual to another.
28	Gun Permit - Carry (renewa	Application to renew a permit to carry a handgun.
32	Gun Permit - Carry Late Re	Application to renew a permit to carry a handgun after 90 day expiration
37	Rec Ck - Immigration	Records check for updating immigration status
39	Rec Ck - Gambling Permit	Records check for gambling permit
40	Rec Ck - Citizen Academy	Records check for citizens academy
41	Rec Ck - Adoption	Records check for adoption
42	Rec Ck - Carver Cty Employ	Records check for Carver County employment
43	Rec Ck - SO Employ	Records check for Carver County Sheriff's Office employment
44	Rec Ck - SO Volunteer	Records check for Carver County Sheriff's Office Volunteer
45	Rec Ck - DHS	Records check for Dept of Human Services
46	Rec Ck - Name Change	Records check for Name change purposed
47	Rec Ck - Other Employ	Records check for other employment
48	Rec Ck - Individual	Records check for an individual
49	Rec Ck - Military	Records check for the military
61	License - Day Care	Records check for a day care license
62	License - Foster Care	Records check for a foster care license
63	License - Liquor	Records check for a liquor license
64	License - Massage Parlor	Records check for a massage parlor license
65	License - Fireworks	Records check for fireworks permit
66	License - Peddler	Records check for peddlers license
999	Sealed	Records are sealed by Court Order.